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<b>Item No.</b> 6.1	<b>Classification:</b> Open	<b>Date:</b> 11 July 2022	<b>Meeting Name:</b> Planning Committee
<b>Report title:</b>	<p><b>Development Management planning application: 21/AP/3338</b></p> <p><b>Address:</b> Zone H Of The Canada Water Masterplan, Land Forming The Southwestern part of Printworks,Surrey Quays Road</p> <p><b>Proposal:</b> Details of all reserved matters (Access, Appearance, Landscaping, Layout and Scale) pursuant to hybrid planning permission ref. 18/AP/1604 dated 29th May 2020 for comprehensive mixed use development of the Canada Water Masterplan site.</p> <p>Reserved Matters approval sought for Development Plots H1 and H2 (Development Zone H of the Masterplan), comprising the partial demolition, vertical and horizontal extension and refurbishment of the former Harmsworth Quays Printworks building to provide 45,504 sqm (GEA) of commercial floorspace comprising workspace (Use Class B1) and flexible workspace/retail (A1-A4/B1) with disabled car parking, cycle parking, landscaping, public realm, plant and associated works.</p>		
<b>Ward(s) or groups affected:</b>	Rotherhithe and Surrey Docks		
<b>From:</b>	Director of Planning and Growth		
<b>Application Start Date</b>	06.10.2021	<b>PPA Expiry Date</b> n/a	
<b>Earliest Decision Date</b>	19.05.2022		

## RECOMMENDATIONS

1. That planning permission be granted subject to the additional conditions and informatives as set out in the draft recommendation at Appendix 1.
2. That it be noted that this Reserved Matters Application is bound by the s106 legal agreement and conditions attached to the Outline Planning Permission 18/AP/1604.
3. That environmental information be taken into account as required by Regulation 26(1) of the Town and Country Planning (Environmental Impact Assessment) Regulations 2017 (as amended).

## EXECUTIVE SUMMARY

4. This is a Reserved Matters Application (RMA) for extension and conversion of the Former Printworks Building to accommodate 45,504 sqm (GEA) of commercial floorspace comprising office (Use Class B1) and flexible workspace/retail (A1-A4/B1)

following the grant of Outline Planning Permission (OPP) for the Canada Water Masterplan.

5. The application relates to Zone H of the Masterplan which has then been subdivided into Plots. This particular plot covers land occupied by the former Printworks Building (press hall and spine buildings, other elements of the building such as the automated reel store, manual reel store and northern storage buildings have been demolished to make way for Zone L and the substation). The proposal is for two buildings known as H1 and H2, which will be linked at first floor level by way of an internal bridge structure.
6. The application proposes an extension to the southern end of the existing Printworks building together with a roof extension. The refurbished/extended building would comprise a part 5, part 6, part 7 storey building with a range of flexible commercial units at ground level facing the future park, retail units on the northern façade facing Reel Street, a spacious double height entrance lobby on the south façade facing Printworks Place and plant/servicing areas facing Printworks Street. The upper levels of the building would comprise office space positioned around a central atrium which can be subdivided to meet the future needs of occupiers.
7. A pedestrianised public route would be provided through Buildings H1 and H2 linking Printworks Street with Reel Walk and the Park. This route is known as Printworks Walk.
8. The proposal would largely accord with the principles of the Masterplan as approved by the OPP 18/AP/1604 save for some minor amendments to the approved Plot Extent and Maximum Height Parameter Plans which have been regularised by way of a Non-Material Amendment application as discussed in more detail below.
9. The OPP allowed for the Printworks building to be retained or demolished as part of the redevelopment and for a range of uses to be provided including workspace and retail.
10. The submission of this application follows a series of pre- and post-application discussions as a result of which improvements were secured in respect of the detailed design.
11. The development would deliver a significant quantum of commercial floorspace which would bring positive economic benefits to the borough in accordance with the OPP and development plan policies.
12. The design seeks to respond to the industrial heritage of the site whilst offering a modern, flexible and unique office environment intended to become a distinctive employment destination within the town centre. The proposed extensions will complement the existing retained structures and the materials pallet will result in a high quality building which will make a positive contribution to the townscape.
13. The building will respond positively to the future planned public realm surrounding the site (Printworks Street, Printworks Place, Reel Street and the Park) and will also provide an important east-west pedestrian route through this part of the town centre.

14. The proposal responds positively to transport and sustainability policies and there would be no significant harm to neighbour amenity. Subject to the appropriate mitigation secured by the conditions and s106 obligations attached to the Outline Permission and the additional recommended conditions to control servicing and operational impacts, use of the terraces and compliance with detailed sustainability strategies the proposal is considered to be in line with the objectives of the Masterplan and compliant with development plan policies.
15. It is noted that a significant number of objections have been received in respect of the loss of the club/music venue currently operating on the site. It is acknowledged that this use has been very successful. However, the events use was initiated as a short term interim (meanwhile) use in 2016 pending development of the building within the masterplan. It was never intended to be a permanent use of the site.
16. Southwark Plan Policy P46 seeks to protect leisure, arts and cultural uses, which are recognised as important social and economic contributors to the Borough. However, this protection applies to established permanent uses and it would be inappropriate to apply the policy to the protection of meanwhile uses. In this particular instance it must be recognised that the cultural use is temporary and that this was understood at the point the club/venue was established. The site has the benefit of an extant permission for redevelopment. As such, a meanwhile use (albeit successful) should not prevent the implementation of a long-term vision established by the masterplan OPP.

#### Non-residential

Use Class	Existing sqm (GEA)	Proposed sqm (GEA)	Change +/-
Meanwhile Uses comprising event space	44,322	<b>Proposed total maximum = 45,504 comprising</b>  Office (B1) = 37,668  Flexible Office/Retail (B1/A1-A4) = 2,416  Retails (A1-A4) = 429  Parking and Plant 4,991	+1,182
Jobs	Unknown due to flexibility of events that can take place within the events use.	2,315 to 3,010 FTE at operational phase	N/A

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Environmental

CO2 Savings beyond part L Bldg. Regs.	53%
Trees lost and gained	<p>As a result of the Printworks RMA, six trees will be removed (Tree Groups G155 and G156). These are shown as being removed as part of the OPP.</p> <p>One tree, previously shown as being removed (part of Tree Group G143) is now being retained.</p> <p>The s106 agreement includes an obligation to retain 49 trees or groups of trees across the Masterplan site as well as a tree planting strategy to ensure that 658 new trees (with a canopy cover of 39,433 sqm) are planted across the Masterplan site.</p>

	Existing	Proposed	Change +/-
Urban Greening Factor Score	N/A	0.3	+ 0.3
Surface Water Run Off Rate	135.7 l/s/ha	67.85 l/s/ha	67.85 l/s/ha – 50% less than existing run off
Green/Brown Roofs	0sqm	1,124	+1,124
EVCPs (on adjacent highway but to serve this building)	0	4	+4
Cycle parking spaces	26	595	+569

CIL and S106 contributions (NB: CIL estimates do not take account of phasing or any offset from existing floorspace)

SCIL (estimated)	TBC in the Addendum
MCIL (estimated)	TBC in the Addendum
S106	N/A for the RMA as this was secured as part of the OPP

## **BACKGROUND INFORMATION**

### **Site location and description**

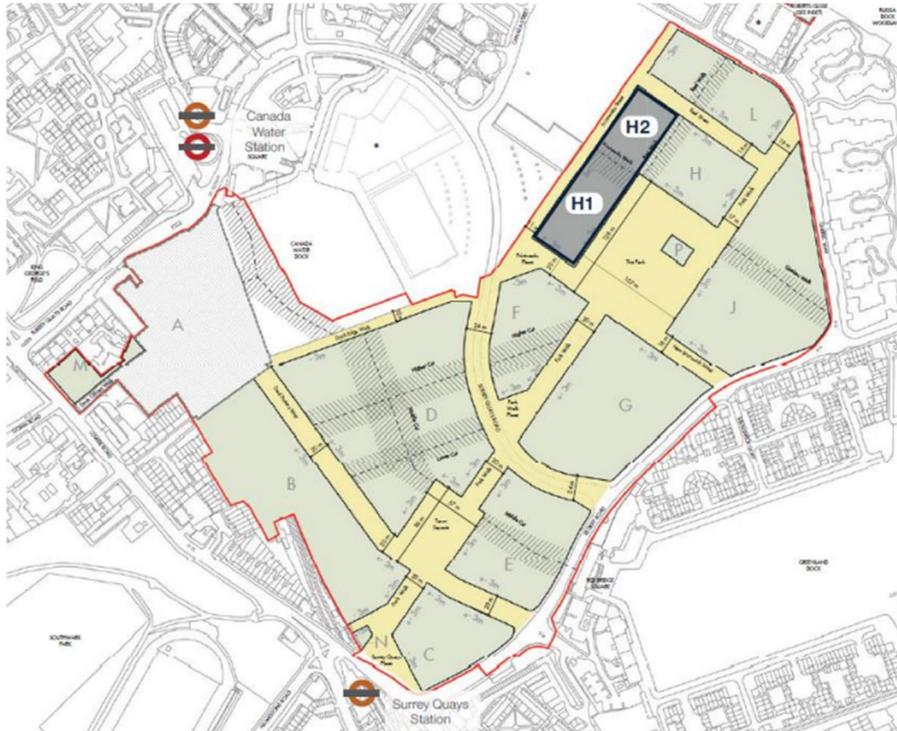
#### **The site**

17. The Canada Water Masterplan covers an area of 21.27 hectares and includes Harmsworth Quays Printworks, Surrey Quays Shopping Centre and Surrey Quays Leisure Park. The Masterplan also includes the former Rotherhithe Police Station, Dock Office Courtyard and a parcel of land on Roberts Close.
18. The shopping centre is still in operation and there are a range of interim uses taking place across the Masterplan site including TEDI University and Global Generation Paper Garden Charity.
19. Permission was granted to British Land in May 2020 for the Masterplan scheme, and development has commenced. Construction is underway on Plots A1, A2 and K1 which were approved in detail as part of the Outline Permission. A range of enabling works are also being undertaken on Plot H (former Printworks building) to facilitate the construction of the UKPN substation.
20. Reserved Matters Applications have been submitted and are under consideration for development on Zones F and L and as well as for New Brunswick Street, Printworks Place and Reel Street.
21. Reserved Matters applications have recently been approved for enhancements to the Dock and for the provision of Printworks Street.
22. The Canada Water Masterplan aims to create a major new town centre comprising a diverse mix of retail, residential, office, leisure and cultural facilities. The Masterplan will deliver a series of buildings focussed around three urban spaces: Canada Water Dock, an important wetland habitat; the Town Square and a new park.
23. The image below shows each of the approved development zones.



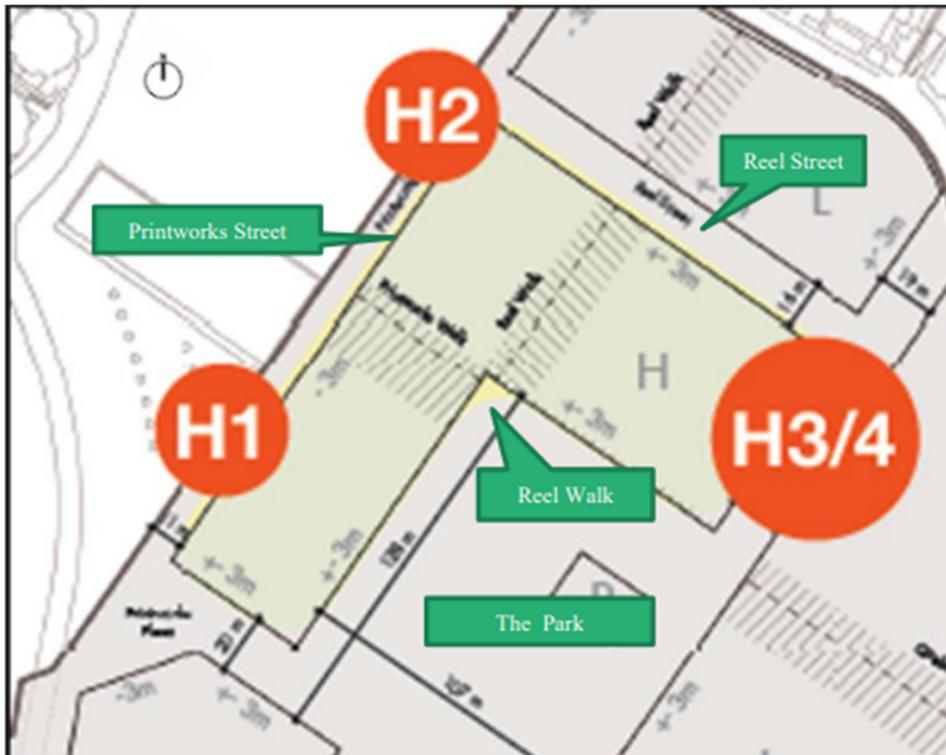
24. This application relates specifically to the former Printworks building within Zone H, located to the north east of the masterplan site area. The existing building currently operates as an entertainment venue (approved as a meanwhile use).
25. Zone H is proposed to be split into two separate plots. This application relates to a rectangular plot running north-south alongside a newly created road, Printworks Street, and west of Reel Walk as shown on the image below. The plot is described as Buildings H1 and H2; Plot/Building H3/4 will come forward as a later phase of development.

26.



**Image:** Location of Buildings H1 and H2 within Zone H of the Masterplan and in the wider context

27.



**Image:** Plan to show breakdown of Plots/Buildings within Zone H be delivered in this part of the town centre.

28. The Former Harmsworth Quays Printworks building (“Printworks building”) was

specifically constructed as a Printworks in the 1980s and extended in 2000. This site includes the former Printworks, vehicle parking and paper storage. The wider site comprises a number of warehouse buildings and hardstanding previously used for car parking and servicing. Buildings H1 and H2 specifically comprise the Press Hall and Spine buildings of the main Printworks building. The remainder of the warehouse buildings on the Printworks Site are due to be demolished or have been demolished.

29. The site is not located within a Conservation Area nor within the curtilage of a Listed Building. There are listed buildings in the wider vicinity, the nearest being the former swing road bridge and dock managers office both located over 260m away.
30. The following area designations apply:
  - Canada Water Major Town Centre
  - Canada Water Opportunity Area
  - Canada Water Action Area
  - Canada Water Strategic Heating Area
  - Air Quality Management Area
  - Flood Zone 2/3 (parts of the site)
  - Site Allocation NSP81
  - Identified Tall Building Location
  - Strategic Cultural Area
31. This Plot lies away from the Transport for London Road Network (TLRN) and Strategic Road Network (SRN), the roads surrounding the site being borough roads, although the Rotherhithe Roundabout (TLRN) and Lower Road (SRN) are within close proximity of the site. Canada Water Underground and bus stations are within 325 metres providing access to Jubilee line services and London Overground services on the extended East London Line. Surrey Quays Station is situated approximately 645m to the southwest of the site. A wide range of buses operate in the area. The site has a PTAL rating ranging from 4 to 6a, which indicates 'good' to 'excellent' access to public transport services.

### Surrounding sites

32. The site is bound by a proposed residential development forming Zone L of the CW Masterplan to the east, by a planned public park to the south, a proposed mixed use commercial and a residential block forming Zone F of the CW Masterplan to the southwest. To the east (on the opposite side of Printworks Street); there is the nearly complete student housing block known as Scape and a site known as Hawker House which is currently occupied by a variety of meanwhile uses but with a proposal for a commercial redevelopment by ArtInvest (21/AP/2655 – resolution to grant subject to completion of a s106 agreement and Stage 2 Referral).
33. In the wider vicinity, Units 1 and 4 of the Canada Water Retail Park are located to the north; these units currently comprise a range of meanwhile uses but are also subject to redevelopment proposals under 21/AP/2655. Further north there is the Porters Edge development which was completed in 2019 comprising 235 residential units, a retail store and offices (occupied by Decathlon) beyond which there are a range of flatted

residential blocks.

## Details of proposal

34. Permission was granted under 18/AP/1604 for:

'Hybrid application seeking detailed planning permission for Phase 1 and outline planning permission for future phases, comprising: 'Outline planning permission (all matters reserved) for demolition of all existing structures and redevelopment to include a number of tall buildings comprising the following mix of uses: retail (Use Classes A1-A5), workspace (B1), hotel (C1), residential (C3), assisted living (C2), student accommodation, leisure (including a cinema)(D2), community facilities (including health and education uses)(D1), public toilets, nightclub, flexible events space, an energy centre, an interim and permanent petrol filling station, a primary electricity substation, a secondary entrance for Surrey Quays Rail Station, a Park Pavilion, landscaping including open spaces and public realm, works to Canada Water Dock, car parking, means of access, associated infrastructure and highways works, demolition or retention with alterations to the Press Hall and/or Spine Building of the Printworks; and

Detailed planning permission for the following Development Plots in Phase 1:

- Plot A1 (south of Surrey Quays Road and west of Deal Porters Way) to provide uses comprising retail (A1-A5), workspace (B1) and 186 residential units (C3) in a 6 and 34 storey building, plus basement;
- Plot A2 (east of Lower Road and west of Canada Water Dock) to provide a leisure centre (D2), retail (A1-A5), and workspace (B1) in a 4, 5 and 6 storey building, plus basement;
- Plot K1 (east of Roberts Close) to provide 79 residential units (C3) in a 5 and 6 storey building;
- Interim Petrol Filling Station (north of Redriff Road and east of Lower Road) to provide a petrol filling station with kiosk, canopy and forecourt area.

Each Development Plot with associated car parking, cycle parking, landscaping, public realm, plant and other relevant works'.

35. The outline permission was granted subject to various parameter plans which establish the maximum parameters within which future buildings and spaces can come forward, such as the maximum building height, minimum and maximum building lines, basement extents and permitted uses for each Masterplan Zone. These parameters are contained in the Development Specification and Parameter Plans which were approved as part of the overall permission. In addition, the Design Code documents set out the detailed design principles against which any subsequent Reserved Matters application should be assessed.
36. This Reserved Matters Application (RMA) covers the matters of access, appearance, landscaping, layout and scale for Buildings H1 and H2 which were reserved under the OPP 18/AP/1604.

37. For clarity these comprise:
- 'Access' – the accessibility to and within the site, for vehicles, cycles and pedestrians in terms of the positioning and treatment of access and circulation routes and how these fit into the surrounding access network.
  - 'Appearance' – the aspects of a building or place within the Development which determine the visual impression the building or place makes, including the external built form of the development, its architecture, materials, decoration, lighting, colour and texture.
  - 'Landscaping' – the treatment of land (other than buildings) for the purpose of enhancing or protecting the amenities of the site and the area in which it is situated;
  - 'Layout' – the way in which buildings, routes and open spaces within the Development are provided, situated and orientated in relation to each other and to buildings and spaces outside the Development.
  - 'Scale' – the height, width and length of each building proposed within the Development in relation to its surroundings
38. The OPP defines a range of potential uses and maximum floorspace caps which can be delivered within each zone as well as an overall cap for the Masterplan site (as identified in the table below).



Development Zone	Use Class	Zone B GEA SQ M	Zone C GEA SQ M	Zone D GEA SQ M	Zone E GEA SQ M	Zone F GEA SQ M	Zone G GEA SQ M	Zone H GEA SQ M	Zone J GEA SQ M	Zone L GEA SQ M	Zone M GEA SQ M	Zone N GEA SQ M	Zone P GEA SQ M	MAXIMUM GEA CAP BY USE (SQ M)
Retail	A1-A5	9,000	2,800	32,700	6,600	3,700	21,700	5,300	3,000	800	400	500	150	86,650
Workspace	B1	41,500	27,600	80,300	19,000	38,500	5,000	67,600	1,500	11,500	-	-	-	282,500
Hotel	C1	-	-	7,500	-	-	-	-	-	-	-	-	-	7,500
Assisted Living	C2	-	-	-	3,700	-	15,500	14,400	20,200	9,700	-	-	-	35,780
Residential	C3	27,300	23,000	34,700	13,600	57,700	44,200	41,200	57,700	27,600	4,500	-	-	331,500
Community Facilities	D1	4,600	-	4,600	2,900	33,500	5,000	-	4,000	4,000	2,500	-	150	45,650
Leisure/ Cultural	D2	-	-	20,000	7,500	7,500	-	25,000	-	-	-	-	-	51,500*
Night Club	Sui Generis	-	-	1,500	-	-	-	1,500	-	-	-	-	-	1,500
Student Accommodation	Sui Generis	27,300	23,000	-	-	31,200	30,000	-	-	-	-	-	-	56,300
Energy Centre	Sui Generis	2,000	2,000	-	-	-	-	-	-	-	-	-	-	2,000
Primary Sub- Station	Sui Generis	-	-	-	3,000	-	-	-	-	3,000	-	-	-	3,000
Multi-Storey Car Park	Sui Generis	-	17,200	-	17,200	-	-	-	-	-	-	-	-	17,200
Patrol Filing Station	Sui Generis	-	3,000	-	3,000	-	-	-	-	-	-	-	-	3,000
Transport Infrastructure (potential second entrance to SQ Station)	Sui Generis	500	-	-	-	-	-	-	-	-	-	500	-	500
Flexible Events Space	Sui Generis	-	-	5,000	-	-	-	-	-	-	-	-	-	5,000
Parking and Plant	-	10,200	7,300	30,400	10,500	8,000	31,000**	18,400	13,700	3,400	400	250	200	133,750
Public Toilets	Sui Generis	-	-	-	-	-	-	-	-	-	-	-	-	500***
<b>MAXIMUM GEA CAP PER ZONE (SQ M) (excluding public toilets, parking and plant)</b>	-	76,000	48,900	159,800	36,600	89,900	65,900	82,500	60,700	29,800	5,200	750	150	
<b>TOTAL MAXIMUM GEA CAP (SQ M) (excluding public toilets, parking and plant)</b>	<b>656,200</b>													

**Image:** Approved range and quantum (sqm GEA) of development for the Masterplan site

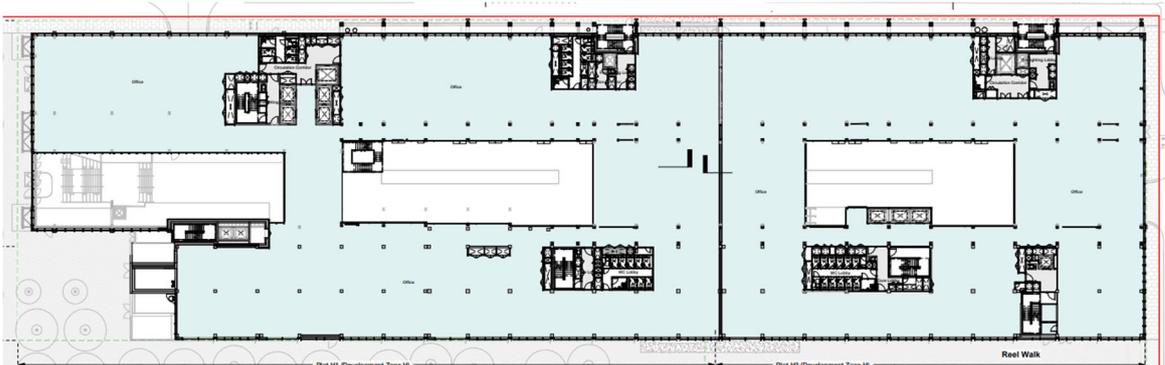
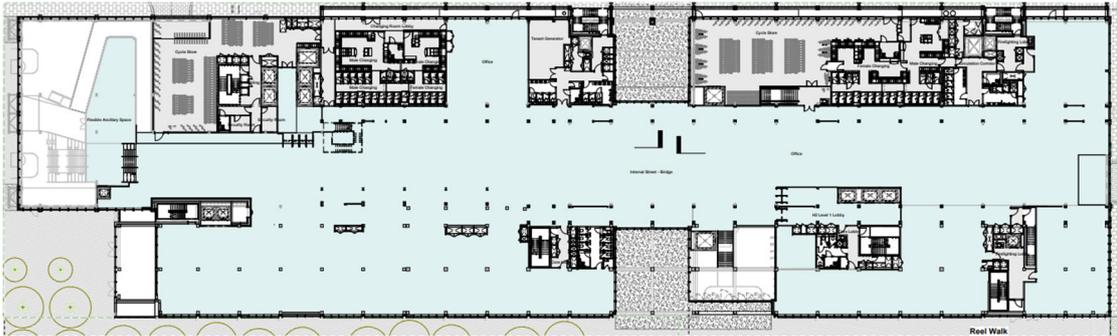
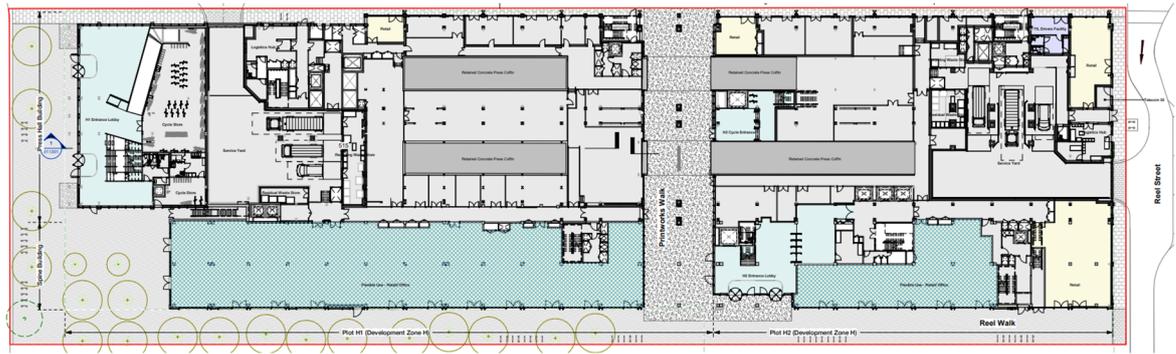
39. This application proposes a commercial led redevelopment largely comprising B1 office floorspace with associated retail uses. The specific breakdown of proposed floor areas is shown in the table below. It is noted that this application for Buildings H1 and H2 comprises only part of the Zone H set out in the table above.

Land Use	Building H1 (GEA sq m)	Building H2 (GEA sq m)	Total Floorspace (GEA sq m)
Office (B1)	21,353	16,315	<b>37,668</b>
Flexible Office/Retail (B1/ A1-A4)	2,065	351	<b>2,416</b>
of which minimum retail to be provided	540	N/A	-
and maximum workspace to be provided	1,525	N/A	-
Retail (A1-A4)	58	371	<b>429</b>
Parking and Plant	2,744	2,247	<b>4,991</b>
<b>Total</b>	<b>26,220</b>	<b>19,284</b>	<b>45,504</b>

*Total GEA floorspace by use*

40. The plot subject of this application comprises the Press Hall and Spine Building of the former Printworks building. The proposals include the construction of a new southern extension with a two storey height roof extension provided above the Press Hall to create a consistent roof height across the main part of the building. The whole building would be clad in complementary facades. Materials proposed have been carefully selected to reflect the Printworks' former industrial use.
41. The proposal comprises two separate buildings within an envelope, which externally will read architecturally as one building; Building H1 which is the west side of the Plot and Building H2 which is the east side of the Plot. Buildings H1 and H2 will be connected by a central circulation space, referred to as the 'Street', at first floor level. On the upper levels, the two sections of the building will be fully separated from each other with their own cores, main entrances and servicing accesses. At ground floor level, the two buildings will be separated by Printworks Walk, which is a public, pedestrianised route connecting Printworks Street to The Park.
42. The ground floor will comprise flexible commercial units on the eastern side of the building fronting the park. These units could be occupied as B1 office or for a variety of retail uses and could be subdivided into smaller or larger spaces to suit occupiers once known. It is proposed to provide retail units on the northern end of the building adjacent to Reel Street and two small retail units on the Printworks Street frontage. The main lobby entrances into the office floorspace will be provided on the southern ends of Plots H1 and H2. Finally, a TfL bus driver facility will be provided on the Printworks Street elevation. The remainder of the ground floor will comprise service yards and plant areas. The upper floors will provide office floorspace capable of being subdivided to meet specific occupiers requirements. A bridge at first floor level will provide the opportunity for Plots H1 and H2 to be linked if this suits a specific occupier in the future.
43. Accessible roof terraces will be provided on levels 3,4,5 and 6 of the building. These terraces are for occupiers of the commercial units and not open to the public.

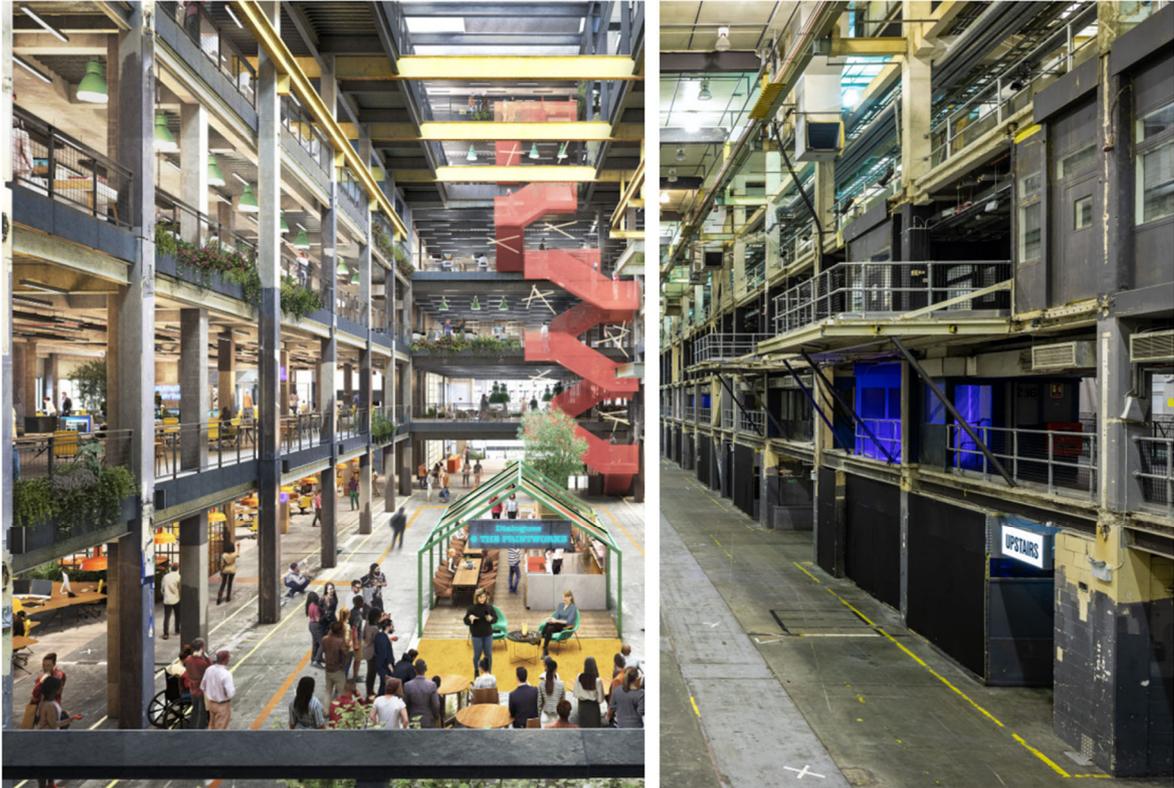
44.



**USE CLASSES:**

-  B1 Office/ Workspace
-  B1 TIL Drivers Facility
-  A1-A4 Retail
-  B1/ A1-A4 Flexible Workspace/ Retail
-  Parking and Plant
-  External Private/ Shared Terrace

**Images:** proposed ground, first and second floor layouts



**Image:** existing internal layout on the right and proposed illustrative view post conversion on the left

## **Consultation responses from members of the public and local groups**

45. Letters were sent to 104 local residents within 100m boundary of the site, the application was advertised as EIA development in the local press and numerous site notices were erected within the vicinity of the site.
46. A total of 684 representations have been received. In total there were 7 letters of support, 2 neutral and 675 objections including a letter of objection from Alfred Salter Primary School.

It should be noted that the majority of representations received are postal addresses outside of the Borough.

It is also important to note that a change.org petition has been set up to save Printworks nightclub. The petition has 10,148 signatures to date. This petition has not been submitted to the Council but is mentioned in some of the objections.

The comments have been summarised in the table below.

Objections	Officer Response
<p>General dislike of proposal</p> <ul style="list-style-type: none"> <li>• Printworks is an iconic venue and cultural landmark and one of the best clubs in London/UK/Europe/Worldwide – tragic redevelopment and negative impact on culture</li> <li>• This development will negatively impact quality of life for young people and marginalised groups, creative spaces need to be supported and protected for public good as they have high social value. Printworks is a safe space that brings communities together and is important for mental and physical health and wellbeing</li> <li>• Printworks should be made an asset of community/cultural value – nothing else of its scale, nature and reputation exists in London</li> <li>• Printworks was ranked just behind Berghain (Berlin) which has been given protected "Cultural Institution" status by the German government – Printworks is a globally recognised venue.</li> <li>• Proposed development negatively impacts UK creative and entertainment industries, national and international tourism, night time economy, cultural heritage, industrial heritage, local businesses and economy and music scene – Printworks is viable</li> <li>• Recent trends and impact of Covid-19 have resulted in nightclub closures and an increase in digital commerce and hybrid working. There are</li> </ul>	<ul style="list-style-type: none"> <li>• The music and entertainment use currently permitted in the former Printworks building was granted planning permission as a temporary/meanwhile use for the building. Whilst it has been an appropriate and successful meanwhile use in the current context, it was never intended to be a permanent use for this site.</li> <li>• The OPP allows for the demolition or conversion of this building and for the plot to be used for a variety of uses of which only 1,500 sqm could be for a nightclub. The OPP established the principle of redevelopment, this RMA complies with the approved quantum and range of land uses and therefore it would not be reasonable or appropriate to resist redevelopment given the extant permission.</li> <li>• In addition to the nightclub allowance of 1,500 sqm, the OPP includes an allowance for cultural and leisure uses in Zones D, E, F and H of the masterplan (51,500 sqm across the masterplan) so there is scope for leisure and cultural uses to come forward within the town centre</li> <li>• The existing nightclub significantly exceeds the permitted quantum for a permanent nightclub use (1,500 sqm). Whilst this scale of nightclub can be accommodated as a meanwhile use in this location it wouldn't necessarily</li> </ul>

<p>more suitable places to develop elsewhere as there are offices and a shopping centre nearby and no need for offices, as they sit empty across the city – unnecessary and short sighted development</p> <ul style="list-style-type: none"> <li>• Proposed development only benefits developers for sake of profiteering and short term financial gain, results in gentrification</li> <li>• Proposal negatively impacts the cultural diversity of Southwark and London and will lose reputation as leading clubbing capital and uniqueness of the site</li> <li>• Negative regeneration project that adds nothing to local community and results in a cultural void, increased crime and unsafe/illegal spaces being formed</li> <li>• Proposal should retain/incorporate Printworks into the development as a cultural/arts venue as there is no reason to get rid of it/cannot be replaced and proposal would result in job losses</li> <li>• The proposed design is highly generic and buildings with character should not be altered and destroyed. Offices are devoid of creativity, culture and community - the cultural loss far outweighs any monetary gain from this decision</li> <li>• Post Brexit and post Covid-19, cultural/nightlife spaces must be protected and supported – notable loss of clubs and venues in recent years</li> </ul>	<p>be appropriate as part of a redevelopment of the area with new residents living in very close proximity</p>
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<ul style="list-style-type: none"><li>• Proposal development would cause irreparable damage to Canada Water’s image and credibility with the public – would turn into a sterile environment and ghost town at weekends</li><li>• Petitions online - 6000 objecting signatures to the change.org petition</li><li>• This proposal represents a disgraceful disregard for the value of the arts and London’s nightlife</li><li>• Printworks is a key arts venue and is used for a range of purposes from club nights, community events, bands and pop-up cinemas – the large capacity has a negligible disturbance to local residents and businesses</li><li>• Important to protect historic heritage – Printworks is a unique and distinctive space and one of only a few remaining industrial buildings left in London</li><li>• Printworks attracts more people to the area, which in turn boosts the local economy and provides an important space for face to face socialising, much needed by so many people after the pandemic – helps mental health and sense of community</li><li>• The Developer should invest in the future of Printworks and provide a safe, culturally rich and diverse entertainment venue</li><li>• There is no evidence in plans of any form of space that will continue to provide any home for the arts. Culture takes time to build – once eliminated, it takes a long time to replace</li></ul>	
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<p>Over development</p> <ul style="list-style-type: none"> <li>• Canary Wharf and surrounding area have the highest number of office real estate in the UK- unnecessary endeavour in place of a cultural/music venue which London keeps losing due to overdevelopment</li> <li>• Given the context of Covid-19 there is surplus office space, increased hybrid working and digital commerce; more time is needed to assess future trends</li> <li>• Other disused sites across London could be repurposed instead of replacing a unique, world renowned space that contributes to the local community and culture scene for a bland office that could be anywhere – gentrification</li> <li>• British Land are capitalising on a lease to convert the office space into residential. It is inappropriate and purely for self-interest to shareholders.</li> <li>• The corporate, commercial, luxury flats and office spaces will sit empty and be bought up by foreign investors, not to the benefit of Londoners – will detract from the area and lose the uniqueness of the site</li> <li>• Not all of London has to be offices, this is already an overconstructed area and there is enough office space in rest of the masterplan, Canada Water is not an in-demand business district – London needs clubs</li> <li>• The event space can be preserved while other development surrounds it to maintain purpose and status. The layout and industrial style make it special</li> </ul>	<ul style="list-style-type: none"> <li>• There is no evidence to suggest that the long-term demand for high quality office space within London has declined. The provision of a significant quantum of high quality, flexible office space accords with development plan policies for this area and the OPP</li> </ul>

<ul style="list-style-type: none"> <li>• There are many council houses and youth centres in Southwark that could put the money for this project to much better use</li> <li>• It will sterilise and devoid of life the masterplan – making it nothing more than just another commercial development rather than a lively town centre</li> <li>• The change of the current land use is short-sighted and not considerate for overall impact to the city</li> <li>• Destroying culture for offices is unnecessary</li> <li>• Without places like Printworks, how do young people unwind and socialise</li> <li>• Office space is declining and there is less demand than ever</li> <li>• The Cost Benefit Modelling for the development should be done in the current era, using recent information on potential population flows, building costs and remodelling the benefits</li> <li>• There are huge costs to maintain large offices, flexible working is struggling to maintain itself</li> </ul>	
<p>Strain on existing community facilities/Traffic/Transport</p> <ul style="list-style-type: none"> <li>• Local facilities, services, roads and transport links are already overburdened with the established population. Office space will only bring more pressure and push TfL network beyond capacity – Canada Water station will be unusable</li> <li>• Total lack of supporting transportation infrastructure investment needed to carry such a large increase in commercial or residential real estate.</li> </ul>	<ul style="list-style-type: none"> <li>• The impact of the redevelopment of the town centre on existing transport infrastructure was fully assessed as part of the OPP. A substantial package of mitigation measures including in-kind works and financial payments towards transport and infrastructure improvements was secured to deal with the significant increase in demand that will be generated by the redevelopment.</li> </ul>

<ul style="list-style-type: none"> <li>• Without a Rotherhithe bridge (now cancelled), traffic cannot enter or leave without overburdening the already overloading Rotherhithe tunnel.</li> <li>• Without direct investment into the Rotherhithe river bridge and a massive expansion of the tube station, the Rotherhithe area must remain closed to further office estate investment</li> </ul>	<ul style="list-style-type: none"> <li>• This development is intended to be car free save for disabled parking provision and servicing/deliveries. As such it will not significantly increase traffic or parking demand. The development seeks to maximise sustainable modes of transport and has made provision for walking and cycling in the design. Further, as discussed above substantial contributions would be paid towards increasing public transport infrastructure as secured in the OPP.</li> <li>• The provision of additional bridges across the River Thames is a strategic transport issue that would sit within the responsibility of TfL. The OPP did not rely on the construction of a river bridge.</li> </ul>
<p>Increase of pollution</p> <ul style="list-style-type: none"> <li>• Southwark Council has declared a climate emergency –building work and increased office commuters directly conflicts with the commitments made to reduce carbon emissions and COP26 agenda</li> <li>• Retaining Printworks fits the climate agenda much more than emitting tonnes of carbon for demolition, construction and fit-out, even with the best environmental targets</li> <li>• Office development in operation are one of the most intense users of carbon given the need for lighting, air ventilation, computers among the numerous other facilities within.</li> </ul>	<ul style="list-style-type: none"> <li>• The OPP establishes the principle of redevelopment of the town centre.</li> <li>• Tackling climate change was a key consideration in the assessment of the OPP.</li> <li>• The conversion and extension addresses sustainability policies in a variety of ways. Such as; minimising car use, maximising sustainable transport modes, designing buildings in a way that will reduce carbon emissions, reduce energy and water consumption, reduce adverse air quality impacts, enhancing urban greening and biodiversity net gains etc., whilst also seeking to provide much needed</li> </ul>

	<p>housing and employment opportunities which are all an important part of a sustainable future.</p> <ul style="list-style-type: none"> <li>• Retention and conversion of the existing building rather than demolition and new build will significantly reduce embodied carbon arising from redevelopment of this plot.</li> <li>• The applicant has demonstrated through the submission of various technical reports that the proposal addresses detailed climate change policies in relation to construction and operation</li> </ul>
<p>Out of keeping with character of area</p> <ul style="list-style-type: none"> <li>• Proposals lack any specific character, consideration for the characteristics of the local neighbourhood and cause the loss of Printworks – the soul of the area and reason why many visit</li> <li>• The area is characterised by its strong residential and community feel despite being central. Building an office led development in the centre of it would ruin the character of the area, turning it into a business destination that does not add real value to the community</li> <li>• Canada Water Masterplan erases cultural and character landmarks which make the area unique – the Printworks building is significant for the Docklands</li> <li>• The high building designs are not only architecturally unappealing but also do not sit well with surrounding houses and flats – they should be</li> </ul>	<ul style="list-style-type: none"> <li>• This application proposes a high quality conversion of the existing building in a way which deliver a unique, flexible work environment which relates well to the former industrial character of the building</li> <li>• The redevelopment will make a valuable contribution to the townscape and character of the area</li> <li>• A commercial redevelopment on this plot will complement the residential uses being developed on adjacent plots</li> <li>• Whilst there is limited green space being provided within the red line boundary for this plot there are important green spaces that will be delivered throughout the Masterplan. A public park is proposed immediately adjacent to this</li> </ul>

<p>confined to areas that do not impact overall surroundings</p> <ul style="list-style-type: none"> <li>• Canada Water is well known for its green spaces – these plans do not include appropriate green areas</li> </ul>	<p>building and there is a requirement for 50% of this park to be delivered before first occupation of the building.</p> <ul style="list-style-type: none"> <li>• Redevelopment of this plot will deliver an important public route through the two buildings (Printworks Walk) - this route will provide a pedestrianised link from the park to Printworks Street improving east-west connections through the town centre</li> </ul>
<p>Affect local ecology</p> <ul style="list-style-type: none"> <li>• Another tall glass structure will negatively impact local flora, fauna and wildlife</li> <li>• British land proposes for trees to be removed and suggests to save 1 tree – there are currently 22 mature trees on the site – this is unacceptable, trees must be preserved and taken care of</li> <li>• Proposal is too high, blocking out sunlight to the surrounding ecology.</li> </ul>	<ul style="list-style-type: none"> <li>• The proposed cladding materials for this development are predominantly metal with glazing limited to fenestration and shopfronts on the east and west facades. The north and south facades will incorporate more glazed areas but this would not have a significant adverse impact on ecology</li> <li>• The impact of the Masterplan development on existing trees was fully assessed as part of the OPP. As part of this assessment trees which were not suitable to be retained were identified. Trees which could be retained were also identified. The s106 agreement includes an obligation to retain 49 trees or groups of trees across the Masterplan site as well as a tree planting strategy to ensure that 658 new trees (with a canopy cover of 39,433 sqm) are planted across the Masterplan site.</li> <li>• The building is not located adjacent to any designated ecology sites so would not have any impact in terms of</li> </ul>

	<p>overshadowing of nearby designated sites such as The Dock or Russia Dock Woodland.</p> <ul style="list-style-type: none"> <li>• Impacts upon ecology by way of bat roosting or nesting birds has been duly considered and appropriate surveys undertaken.</li> <li>• There are conditions and s106 obligations attached to the OPP to ensure appropriate lighting schemes for buildings and public realm and enhancement of opportunities for ecology through measures such as soft landscaping and ecology features (bird/bat boxes and insect towers on individual buildings) as well as site wide ecological enhancements</li> <li>• There are conditions and s106 obligations attached to the OPP to prevent harm to ecology during construction (CEMP)</li> </ul>
<p>Not enough info given on application</p> <ul style="list-style-type: none"> <li>• No market evidence for more office space –there must be a marketing exercise for two years, immediately prior to any planning application – for both existing condition and as an opportunity for an improved leisure, arts or cultural facility</li> <li>• The proposals do not demonstrate clear re-provision of the same uses – a vague cultural uses is not the same provision as a night-time venue</li> <li>• Proposal does not mention impact of closing one of the most culturally famous events, filming and music venues</li> </ul>	<ul style="list-style-type: none"> <li>• As discussed above the provision of office floorspace accords with policy and the OPP</li> <li>• As discussed above the nightclub is a meanwhile use. Cultural uses are provided for within the approved range of uses that would be delivered in the Masterplan</li> <li>• In terms of retail provision the proposal allows for a range of ground floor units that could be subdivided to meet the specific requirement of occupiers. These spaces could attract small, local businesses. It is not unusual for specific occupiers not to be</li> </ul>

<ul style="list-style-type: none"> <li>• Plans do not state how the development will improve the situation in Canada Water station</li> <li>• There are clear issues with the use purpose set out in the Canada Water Masterplan</li> <li>• There is not much on the retail proposal, it is unclear how they will not be just the usual chain shops, similar to any other commercial development, instead of supporting local, independent, characterful shops</li> <li>• Need more visual based drawings to understand the full scope of the clients aspiration to compare alongside the architects illustrations</li> <li>• Original S106 is not detailed enough and proposal does not state financial contributions for local community projects, healthcare provisions, air quality concerns or explain net zero offset payment/ambitions</li> <li>• Proposal does not explain who the applicant intends to engage with, who is contracted and how they were selected</li> <li>• Proposal does not explain NABERS rating, improved pedestrian and cycle safety, noise pollution and light pollution and effect on woodland</li> </ul>	<p>known at this early stage of the process</p> <ul style="list-style-type: none"> <li>• The s106 attached to the OPP includes an obligation to provide affordable retail units across the Masterplan site specifically aimed at attracting local, small retailers.</li> <li>• Sufficient visual material has been provided to explain the proposal</li> <li>• There is a very detailed s106 agreement which forms part of the OPP to which this application will be bound.</li> <li>• The application includes a Statement of Community Involvement and Engagement Summary setting out how the applicant has engaged with the local community. This is discussed in detail below.</li> <li>• The proposal includes a EIA Statement of Conformity as well as various standalone technical assessments to demonstrate the impact of the proposal on matters such as light pollution, ecology and transport</li> </ul>
<p>Conflict with local plan</p> <ul style="list-style-type: none"> <li>• NSP policy P45 sets out that “Development must retain or re provide existing leisure, arts and cultural uses. Re-provision should be of the same, or be better than, the quantity and quality of existing uses”– the proposals do not demonstrate clear reprovision of the same uses. A vague cultural use</li> </ul>	<ul style="list-style-type: none"> <li>• For the reasons set out in detail in this report the proposal accord with the OPP and development plan policies</li> </ul>

<p>which could be anything from an art gallery to a theatre, is not the same provision as a night time venue. It goes onto say “In exceptional circumstances leisure, arts and cultural facilities can be replaced by another use where there are currently more facilities than needed. This must be demonstrated by a marketing exercise for two years, immediately prior to any planning application.</p> <ul style="list-style-type: none"> <li>• The proposal contradicts relevant policies in the London Plan and Southwark Plan as it fails to demonstrate that there are a surplus of facilities used for office/retail in the borough, a nightclub is being lost and therefore its viability reduced</li> <li>• Proposal in direct conflict with a number of points in the local plan and core strategy, most significant being ‘SO 2F’ in the Core Strategy and ‘SO 4A 3.7’ – stating the council wishes to positively transform the image of Southwark – the proposal does the opposite</li> <li>• Local plans need to take into account the changing context of the way we live now - 2012 NPPF recognises role of culture in building a strong, competitive economy and the role it plays in creating vibrant and healthy communities</li> </ul>	
<p>Noise nuisance</p>	<ul style="list-style-type: none"> <li>• Subject to controlled servicing and operating hours and restrictions on the use of the terraces (as set out in this report below) the proposal would not give rise to unacceptable noise impacts</li> </ul>

<p>Transport</p> <ul style="list-style-type: none"> <li>• Inadequate access</li> <li>• Increase in traffic</li> <li>• Heavy goods vehicles would frequently pass the school site within metres of outside learning and play areas for early years students – would like to recommend that similar to the construction access for the Temporary Innovation Hub, the Electrical Sub Station and the K1 plot, all heavy goods vehicles access Quebec Way via Redriff Road rather than Canada Street – ensure continued safety of students and preserve air quality of outdoor play areas</li> <li>•</li> </ul>	<ul style="list-style-type: none"> <li>• The vehicular access routes into this site are in accordance with the OPP</li> <li>• The development is car free save for disabled parking provision and controlled servicing/deliveries and therefore there will not be a significant impact in terms of traffic generation</li> <li>• Construction traffic routes would be controlled via a Construction Environmental Management Plan to minimise disruption</li> </ul>
<p>Neighbour Impacts</p> <ul style="list-style-type: none"> <li>• Loss of light</li> <li>• Loss of privacy</li> </ul>	<ul style="list-style-type: none"> <li>• Given the relationship of the buildings to existing and planned future buildings, and for the reasons set out in detail in this report below the development would not have an adverse impact on light or privacy for neighbours</li> </ul>
<p><b>Objection from Alfred Salter School</b></p> <ul style="list-style-type: none"> <li>• Concerns regarding the impact of construction traffic in close proximity to the school</li> <li>• Could construction traffic be routed via Redriff Road and not Canada Street</li> <li>• Concern over the intention for Printworks Street to operate as a key vehicular route through the site. Could this street be pedestrianised?</li> <li>• Concern over the impact of locating the bus stands and driver facilities in this part of the town centre.</li> </ul> <p><b>Officer response</b></p> <p>This objection largely relates to the construction of Printworks Street which does not form part of this application.</p> <p>The principle of a vehicular route in this location has been established by the OPP and is necessary to facilitate the development of the town centre. This road will provide a route for buses as well as an area for bus stands which</p>	

cannot be accommodated elsewhere within the Masterplan site. It would not be reasonable to seek to resist a road in this location or to seek to pedestrianize Printworks Street given the Outline permission. As such at reserved matters stage the Council were required to assess the acceptability of the detailed design rather than the principle. Reserved matters approval has been granted for Printworks Street (21/AP/3469).

The location of the bus stands and driver facilities was also deemed to be acceptable when OPP was granted.

All measures will be taken to minimise adverse construction related impacts through a detailed Construction and Environmental Management Plan. This has already been secured within the s106 agreement. As part of this detailed plan the Highways Team will determine the most appropriate route for construction vehicles taking into account the impact on the school and residents. The school street closure would also need to be taken into account.

### **Comments in support**

- Printworks adds nothing to the local community and economy. Those who come to it only come to it, they don't come to patronise other businesses in the area, they don't respect the area, they don't consider local residents
- The so-called "participant guiding" from Canada Water station to the venue obstructs the footpaths, obstructs the concourse at Canada Water station, causes traffic hold-ups on Surrey Quays Road and is a general nuisance. The clubbers themselves block the footpaths by standing around in groups and show no concern for other people going about their business. At times, it is impossible to walk along the footpath going past the entrance to the Printworks because of the number of people obstructing it. Closing this club would result in little harm to the local economy, and have a positive impact on the lives of local residents.
- Presents a lovely design
- In general, in favour of the Canada Water masterplan – a vital addition to allow London to cope with the need for housing

## **Planning history of the site, and adjoining or nearby sites**

47. The site benefits from Outline Planning Permission 18/AP/1604 - Hybrid application seeking detailed planning permission for Phase 1 and outline planning permission for future phases, comprising:

Outline planning permission (all matters reserved) for demolition of all existing structures and redevelopment to include a number of tall buildings comprising the following mix of uses: retail (Use Classes A1-A5), workspace (B1), hotel (C1), residential (C3), assisted living (C2), student accommodation, leisure (including a

cinema)(D2), community facilities (including health and education uses)(D1), public toilets, nightclub, flexible events space, an energy centre, an interim and permanent petrol filling station, a primary electricity substation, a secondary entrance for Surrey Quays Rail Station, a Park Pavilion, landscaping including open spaces and public realm, works to Canada Water Dock, car parking, means of access, associated infrastructure and highways works, demolition or retention with alterations to the Press Hall and/or Spine Building of the Printworks; and

Detailed planning permission for the following Development Plots in Phase 1:

- Plot A1 (south of Surrey Quays Road and west of Deal Porters Way) to provide uses comprising retail (A1-A5), workspace (B1) and 186 residential units (C3) in a 6 and 34 storey building, plus basement;
- Plot A2 (east of Lower Road and west of Canada Water Dock) to provide a leisure centre (D2), retail (A1-A5), and workspace (B1) in a 4, 5 and 6 storey building, plus basement; Plot K1 (east of Roberts Close) to provide 79 residential units (C3) in a 5 and 6 storey building;
- Interim Petrol Filling Station (north of Redriff Road and east of Lower Road) to provide a petrol filling station with kiosk, canopy and forecourt area.

Each Development Plot with associated car parking, cycle parking, landscaping, public realm, plant and other relevant works.

48. Other relevant applications include:-

16/AP/3818 - Change of use from a Printworks to an events and entertainment space with ancillary food, drink and ancillary storage for a temporary period of 5 years. Granted

17/AP/3743 - Variation of Condition 5 (Hours of operation) for the Printworks an events and entertainment space with ancillary food, drink and ancillary storage for a temporary period of 5 years to maintain the following hours of operation for the duration of the temporary planning permission ref. 16/AP/3818: 10:00 to 01:00 Monday to Thursday. Granted

20/AP/3388 - Variation of Condition 1 of planning permission 16/AP/3818 (as amended by permission 17/AP/3743) for: Change of use from a Printworks to an events and entertainment space with ancillary food, drink and ancillary storage for a temporary period of 5 years. To extend the temporary use of the Printworks for a further 5 years. Granted. **Temporary use expires May 2026**

19/AP/1811 - Change of use of part of the ground and third floors from Class D2/Sui Generis (events and entertainment space with ancillary food, drink and storage) to Class D1 (higher educational facilities) for a temporary period of five years. Granted

## **KEY ISSUES FOR CONSIDERATION**

### **Summary of main issues**

49. The main issues to be considered in respect of this application are:
- Principle of the proposed development in terms of land use including affordable workspace;
  - Conformity with Outline Permission
  - Environmental impact assessment
  - Design, including layout, scale and appearance
  - Heritage considerations
  - Landscaping and ecology
  - Archaeology
  - Impact of proposed development on amenity of adjoining occupiers and surrounding area, including privacy, daylight and sunlight
  - Transport and highways, including servicing, car parking and cycle parking
  - Environmental matters, including construction management, flooding and air quality
  - Energy and sustainability, including carbon emission reduction
  - Planning obligations (S.106 undertaking or agreement)
  - Mayoral and borough community infrastructure levy (CIL)
  - Consultation responses and community engagement
  - Community impact, equalities assessment and human rights
50. These matters are discussed in detail in the 'Assessment' section of this report.

### **Legal context**

51. Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with the development plan, unless material considerations indicate otherwise. In this instance the development plan comprises the London Plan 2021 and the Southwark Plan 2022. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires decision-makers determining planning applications for development within Conservation Areas to pay special attention to the desirability of preserving or enhancing the character or appearance of that area. Section 66 of the Act also requires the Authority to pay special regard to the desirability of preserving listed buildings and their setting or any features of special architectural or historic interest which they possess.
52. There are also specific statutory duties in respect of the Public Sector Equalities Duty which are highlighted in the relevant sections below and in the overall assessment at the end of the report.

### **Planning policy**

53. The statutory development plans for the Borough comprise the London Plan 2021 and

the Southwark Plan 2022. The National Planning Policy Framework (2021) constitutes a material consideration but is not part of the statutory development plan. A list of policies which are relevant to this application is provided at Appendix 2. Any policies which are particularly relevant to the consideration of this application are highlighted in the report.

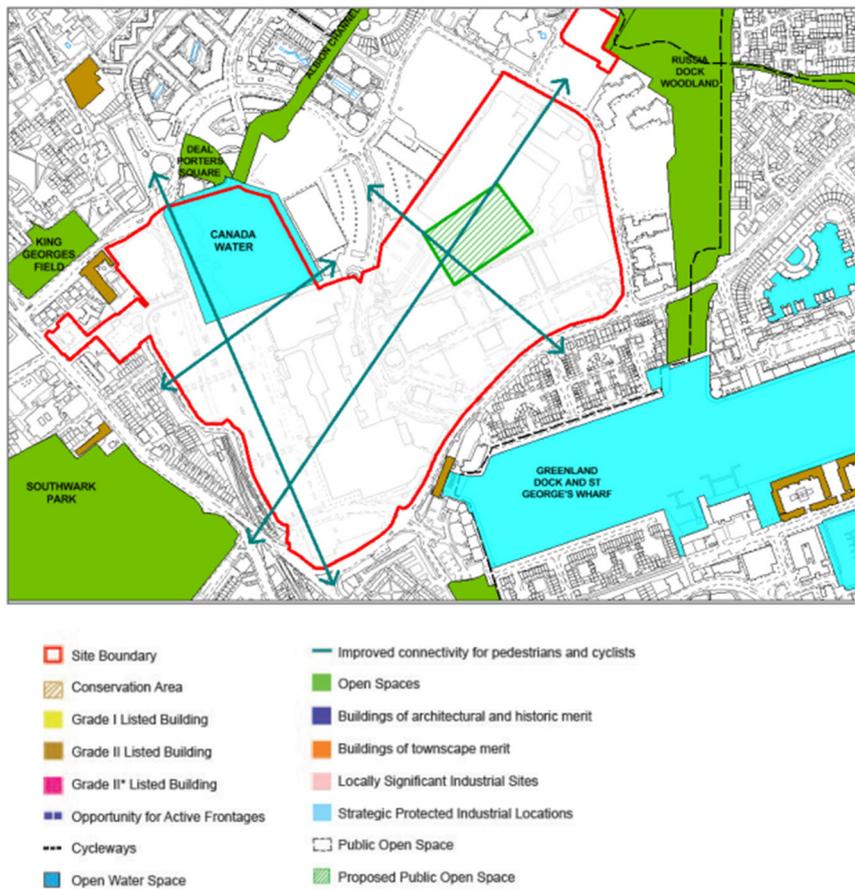
## **ASSESSMENT**

### **Principle of the proposed development in terms of land use**

#### Relevant policy designations

54. The site is within the Canada Water Opportunity Area, which the London Plan describes as aiming to deliver 20,000 jobs and the Canada Water Major Town Centre will provide at least 40,000sqm (net) new retail uses. Site allocations in Canada Water and Rotherhithe have enormous potential to provide new homes and commercial space, particularly in and around the Canada Water town centre.
55. The site is located within AV.15 Rotherhithe Area Vision of the Southwark Plan 2022. This states that development in Rotherhithe should:
  - Create a new destination around the Canada Water Dock which combines shopping, civic, education, and leisure, business and residential uses.
  - Provide as many homes as possible of a range of tenures including social housing while respecting the local character. There will be opportunities for taller buildings on key development sites;
  - Transform Canada Water into a new heart for Rotherhithe with a new leisure centre, shops and daytime and evening events and activities around the Dock and in the Harmsworth Quays Printworks.
  - New retail space will be provided including a new department store and independent shops, offices and places to eat and drink;
  - Provide new education opportunities and health services which will include new school places and a health centre with GPs and could include colleges and universities;
  - Complement and improve the historic character, including the docks, and the unique network of open spaces, water and riverside;
  - Prioritise walking and cycling and improve public transport, including improved links to Southwark Park, the river, boat services and docks, completion of the Thames Path, a new river crossing to Canary Wharf, better circulation of buses, enhanced cycle routes to support expansion of cycle hire to the area and creating 'healthy streets';
  - Improve traffic flow on the road network, particularly on Jamaica Road and Lower Road;
  - Provide a range of flexible employment spaces, including premises suitable for smaller businesses;
  - Improve roads, pavements and cycleways, particularly the local environment around Albion Street and Lower Road.

56. The site lies within a wider area covered by Southwark Plan Site Allocation 81.



57. The site allocation states

Development of the site must:

- Provide retail uses; and
- Provide a new health centre (E(e)) of approximately 2,000m<sup>2</sup>; and
- Provide new education places for 14-19 year olds (F.1(a)); and
- Provide new homes (C3); and
- Provide enhanced public realm and civic space - 13,696m<sup>2</sup>; and
- Provide employment floorspace (E(g), B class); and
- Provide leisure uses.

Development of the site may:

- Provide student accommodation (sui generis);
- Provide new visitor accommodation (C1);
- Provide extra care housing (C2);
- Provide leisure, arts, culture or community uses

58. In terms of design guidance the allocation states “The Canada Water vision is to transform Canada Water into a new major town centre destination which combines shopping, civic, education, leisure, business and residential uses. Much of the current environment is designed to accommodate trips made by cars. The aspiration is to

create high quality streets and spaces that are not dominated by car use or by car parking.

59. Harmsworth Quays provides an opportunity to expand the town centre eastwards to incorporate uses and activities which will reinforce the town centre, create jobs and boost the local economy.  
Development on these sites will be expected to maximise the amount of employment space and its contribution to the regeneration of the town centre.
60. The site should accommodate improved walking routes to Canada Water Station and to public open spaces, with redevelopment enhancing Canada Water Basin for people and wildlife. The scheme should provide links to existing cycle routes and proposed Cycle Super Highway (if the scheme is provided)."

### Existing land use

61. Planning permission was granted in 2016 for temporary use of the Printworks building as an entertainment venue for 5 years. This was subsequently extended by another 5 years in 2021. The temporary permission will expire in May 2026.
62. The permission allows for the venue to be used range of cultural events and entertainment, including the following (but not limited to):
  - Dinners
  - Conferences
  - Expo events
  - Ticketed cultural events (live and recorded music, dance, circus ballet, art and ballet)
  - Fashion shows
  - Film and photography
  - Makers yard (market)
  - Street food
  - Climbing space
  - Exhibitions
  - Space for community events / rehearsal space
  - Indoor sporting events (excluding boxing and wrestling entertainment)
63. Development plan policies recognise the benefits of providing temporary/meanwhile uses to make the most of vacant land/buildings. Cultural and entertainment uses can be particularly successful meanwhile uses within large scale phased redevelopment projects. Whilst such uses have an important role to play, a successful temporary use should not prevent permanent redevelopment.
64. Temporary use as an entertainment venue for the Printworks was deemed to be appropriate in this town centre location to prevent the building remaining vacant whilst awaiting redevelopment. The use has operated successfully for a number of years. However, this was never intended to be a permanent use within the town centre. At the time of obtaining planning permission for the temporary entertainment use the applicant was aware of the Council's aspirations for redevelopment of the town centre

(as set out in the Canada Water Area Action Plan). At the time of obtaining planning permission for a further 5 years the applicant was aware of the planning permission granted for wholesale redevelopment of the Masterplan site. Finally, the operator of the premises does not own the land and only has a temporary lease arrangement with British Land.

65. As a temporary/meanwhile use the events/entertainment venue is not protected by development plan policies and there would be no policy based reason to resist its loss.
66. The OPP allows for the demolition or conversion of this building and for the plot to be used for a variety of uses of which only 1,500 sqm could be for a nightclub. The OPP established the principle of development, this RMA complies with the approved quantum and range of land uses, and therefore it would not be reasonable or appropriate to resist the development set out in this RMA given the extant permission
67. The OPP includes an allowance for cultural and leisure uses in Zones D, E, F and H of the Masterplan so there is scope for music and entertainment uses to come forward within the town centre. The approved range and quantum of land uses also allows for 1,500 sqm GEA for a nightclub use in Zone D, where discussions towards an RMA have not yet been progressed. At the time of granting the OPP this quantum and distribution of floorspace was considered to be appropriate for this locality taking into account the scale, quantum and mixed use nature of uses that would be delivered to make Canada Water a successful and attractive place for people to live, work and enjoy.
68. In summary, refusal of this application on the grounds of loss of the temporary events use/nightclub/music venue could not be justified by development plan policies. Furthermore, despite the successful operation of the temporary use this would not outweigh the need to determine the application in accordance with development plan policies, and the OPP. It is not considered that a refusal on these grounds could be reasonably justified or upheld on appeal.

### Employment uses

69. Promoting the economy and creating employment opportunities is key priority for the planning system. The site lies within a London Plan Opportunity area (Policy SD1) and within a defined Major Town Centre (Policy SD6). London Plan Policy GG5 requires local planning authorities to plan for sufficient employment and industrial spaces to support economic growth whilst Policies E1 and E2 deal specifically with the provision of B Use Class (now called Class E(g) since the change to the Use Classes order in 2021) space. London Plan Policy E11 requires development proposals to support employment, skills development, apprenticeships, and other education and training opportunities in both the construction and end-use phases.
70. Southwark Plan Policy SP4 seeks to ensure that Southwark can develop a strong, green and inclusive economy. To achieve this the development plan aims to deliver at least 460,000sqm of new office space between 2019 and 2036 (equating to around 35,500 jobs). The policy states that around 80% of new offices will be delivered in the Central Activities Zone. Additional offices will be delivered in the Canada Water and

Old Kent Road Opportunity Areas and in town centres, the policy sets a target of 20,000 jobs to be delivered in Canada Water. Policy SP4 further requires 10% of all new employment floorspace to be affordable workspace for start-ups and existing and new small and independent businesses in Southwark. Finally, the policy identifies Canada Water as appropriate for delivering 40,000sqm of retail floorspace.

71. The proposal to deliver a significant quantum of workspace is entirely consistent with the OPP.
72. This proposal has the potential to deliver 2,315 to 3,010 FTE jobs. This level of employment would make a valuable contribution to the Borough and should be regarded as a significant positive benefit of the scheme.
73. A policy compliant provision of construction and end use employment and training opportunities was secured as part of the OPP (Schedule 20).

### Retail, professional services and food & drink

74. This application proposes a series of smaller units located along the east façade of the building which will either be occupied as office or for retail uses. As a town centre location it is entirely appropriate for this development to include a range of retail/café uses. Furthermore retail and café uses are allowed for within the approved Development Specification for the OPP. The proposed location will activate this edge of the building and the adjacent public realm creating a positive relationship with the future Park.
75. Southwark Plan Policy P35 sets out the requirements for new retail development within town centres. For a development of this scale it is necessary for the proposal to include toilets, public drinking fountains and public seating. These features have already been secured within the s106 legal agreement attached to the OPP to which this RMA will be bound.

### Basements

76. As it is proposed to use the existing building structure (including foundations), excavations are limited to those required for attenuation tanks and servicing. The depth of all excavations are minimised and do not breach the approved basement extents shown on the Proposed Basement Extents Parameter Plan. The retained press coffins and existing columns provides further limitations on the ability to internalise plant. This has placed greater pressure on the roofs of the building to service the development and as a result the upper roofs house most of the building's plant and equipment. Where possible plant has been located on the main upper roofs to allow the lower roofs to become accessible terraces, to provide amenity space and landscaping potential.

### Affordable workspace

77. London Plan Policy E2 requires the provision of a range of low-cost Class B1 business space to be supported to meet the needs of micro, small and medium sized

enterprises and to support firms wishing to start up and expand.

78. Policy E3 of the London Plan deals specifically with affordable workspace and identifies the circumstances in which it would be appropriate to secure affordable space.
79. Southwark Plan Policy P31 deals with affordable workspace. Criterion 2 of the policy requires Major 'B Use Class' development proposals to deliver at least 10% of the floorspace as affordable workspace on site at a discounted market rent for a period of at least 30 years.
80. It should be noted the OPP for this site predates the formal adoption of the London Plan 2021 and the Southwark Plan 2022 and therefore formal adoption of any affordable workspace policies. Nevertheless, affordable workspace has been secured as part of the OPP obligations to which this RMA will be bound. It is not open to the Planning Authority to re-negotiate affordable workspace provision as part of a subsequent RMA as this has been established by the OPP.
81. To confirm, across the Outline Phases of the Masterplan (so excluding Plots A1/A2/K1) Schedule 21 secures the following obligations:-
  - 4,900 sqm GIA of affordable retail space to be offered at 20% discount on market rent for a period of 10 years post practical completion
  - 11,500 sqm GIA of Co-Working space for a period of 15 years post practical completion
  - 7,000 sqm of affordable workspace to be offered at 25% discount on market rent for a period of 15 years post practical completion

The obligation requires the affordable retail and workspace to be provided at trigger points linked to the phased delivery of commercial floor space across the site but allows sufficient flexibility for it to come forward within any of the commercial plots.

82. The following trigger points have been secured

#### Affordable Retail

- Not to occupy more than 10,000 sqm of retail floorspace until not less than 980 sqm of affordable retail space has been provided
- Not to occupy more than 20,000 sqm of retail floorspace until not less than 1960 sqm of affordable retail space has been provided
- Not to occupy more than 30,000 sqm of retail floorspace until not less than 2940 sqm of affordable retail space has been provided
- Not to occupy more than 40,000 sqm of retail floorspace until not less than 3920 sqm of affordable retail space has been provided
- Not to occupy more than 49,000 sqm of retail floorspace until not less than 4900 sqm of affordable retail space has been provided

#### Affordable workspace

- Not to occupy more than 75,000 sqm of workspace (excluding the Phase 1

development) until not less than 3,500 sqm of affordable workspace has been provided

- Not to occupy more than 150,000 sqm of workspace (excluding the Phase 1 development) until not less than 7,000 sqm of affordable workspace has been provided

#### Co working space

- Not to occupy more than 75,000 sqm of workspace (excluding the Phase 1 development) until not less than 3,500 sqm of co working space has been provided
- Not to occupy more than 150,000 sqm of workspace (excluding the Phase 1 development) until not less than 7,000 sqm of co working space has been provided
- Not to occupy more than 225,000 sqm of workspace (excluding the Phase 1 development) until not less than 11,500 sqm of co working space has been provided.

83. Plot H, L and F as proposed in the current RMAs would deliver circa 83,000 sqm GEA of workspace which means there will be a requirement to provide the first tranche of affordable and co-working space as part of this phase of the development.

84. The legal agreement is worded in a way which requires the applicant to confirm the location of affordable retail and workspace units 6 months prior to practical completion of a plot which includes retail or workspace development rather than upon submission of an RMA. As such, there is no requirement at this stage for the applicant to confirm whether any of the commercial/retail space within the Printworks building will be affordable. It has however been confirmed that the internal design is such that it could be accommodated by affordable or non-affordable workspace occupiers or a combination of both.

85. For the reasons set out above the proposal accords with the OPP in respect of affordable workspace provision.

#### Bus Driver Facilities

86. The OPP identified a need for alternative bus stands within the town centre together with driver welfare facilities. Plot H was identified as potential location due to the relationship with Printworks Street (intended to be a servicing and bus route). This application proposes driver facilities in the western side of the building, adjacent to the planned bus stands which will be capable of holding 3 buses. The facilities have been reviewed by TfL and found to be appropriate in terms of location and size.

#### Land Use Summary

87. As discussed above the proposal is to deliver a commercial scheme comprising mainly office floor space but with other appropriate town centre uses. This is consistent with the approved OPP and would meet the requirements of the development plan policies discussed above.

## **Conformity with outline permission**

88. The conversion and extension of the former Printworks building as set out in this RMA would largely accord with the principles of the Masterplan as approved by the Outline Permission 18/AP/1604, which allowed for retention and conversion of the existing building or demolition and new build development within this Zone. The approved Development Specification allows for a range of uses to take place on this Plot including commercial or residential with flexibility around appropriate uses at ground floor level. The proposal falls within the permitted uses and floorspace cap.
89. As a result of retaining the existing building it has been necessary to amend the Parameter Plans approved under 18/AP/1604. This is because as a result of developing the proposals for the Printworks re-use option the applicant has gained a greater level of detail and understanding of the existing building and structure than that known at the time of the original Outline Application submission. More detailed analysis has revealed that the existing building is located 1.4m closer to the western boundary of the site than shown on the approved 'Proposed Development Zones and Public Realm' Parameter Plan. For the same reason it has been necessary to amend the approved 'Proposed Building Lines Parameter Plan'. Also, the existing Press Hall element of the building is 2.6m wider than first assumed which means it would breach the staged height shown in the 'Proposed Maximum Heights' Parameter Plan. The existing Press Hall encroaches slightly into the area shown to drop down in height to 35m so there has been a slight adjustment of the plan to reflect this. Finally the new façade proposed to the north elevation of Building H2 results in a further encroachment beyond the originally approved north building line by 0.9m (as a result this would impact the minimum width of public realm in Reel Street). These minor amendments to the originally approved Parameter Plans have been regularised by way of a Non-material Amendment Application 21/AP/4235 .
90. The proposal fully accords with the approved vehicular access and servicing parameter plans as well as approved landscape levels. Furthermore the detailed design of the building in terms of the location and form of extensions, layout of spaces, entry and exit points, façade treatment, architectural style and materials pallet and routes around and through the site accord with the principles established by the Design codes approved as part of the OPP.

## **Environmental impact assessment**

### **Regulatory framework**

91. Environmental Impact Assessment is a process reserved for the types of development that by virtue of their scale or nature have the potential to generate significant environmental effects. The categories of development to which this applies, the size thresholds and selection criteria, are set out in the Town and Country Planning (Environmental Impact Assessment) (EIA) Regulations 2017.
92. At the time of determination of the Outline Planning Permission (OPP) the relevant

regulations were the Town and Country Planning (Environmental Impact Assessment) Regulations 2011 (the '2011 Regs'). The OPP was considered to be EIA development. An assessment of the likely significant environmental effects of the Canada Water Masterplan was reported in an Environmental Statement (ES) co-ordinated by Waterman Infrastructure & Environment Ltd which accompanied the OPP, submitted in May 2018. This original ES (May 2018) has subsequently been the subject of two ES Addenda (October 2018 and June 2019) and these three documents together comprise the Canada Water Masterplan ES.

93. By virtue of the transitional provisions at Regulation 76(2) of the Town and Country Planning (Environmental Impact Assessment) Regulations 2017, the 2011 Regs continue to apply to the Canada Water Masterplan Development. Condition 7 of the OPP requires each application for reserved matters to contain the information set out in the Reserved Matters Compliance Statement Checklist which includes the requirement for an Environmental Statement (ES) Statement of Conformity (SoC).
94. An ES SoC is a document that considers the details of the relevant RMA and explains the conformity of those details with the conclusions of the environmental impact assessments reported in the Canada Water Masterplan ES.
95. The RMA details for Plot H have been reviewed against the Canada Water Masterplan ES by Waterman and all technical specialists who contributed, to confirm that the details conform with the assessment of effects previously undertaken and the mitigation proposed remains proportionate and relevant. The review has identified that the RMA details would not alter the likely significant residual effects previously identified within the approved Canada Water Masterplan ES.
96. A non-material amendment application (NMA) has been submitted under section 96A of the Town and Country Planning Act 1990 (as amended) in connection with the RMA for Plots H1 and H2 within Development Zone H because the RMA details fall slightly outside the approved parameters of the Canada Water Masterplan (discussed further in the 'conformity' section of this report). The ES SoC therefore also considers the potential for these non-material amendments to result in any new or changed likely significant residual environmental effects to those identified within the Canada Water Masterplan ES.
97. The review has identified that the RMA, as amended by the NMA, would not alter the likely significant residual effects within the approved Canada Water Masterplan ES. However, since submission of the Canada Water Masterplan ES additional assessments have been undertaken in relation to ground conditions and ecology in order to discharge planning conditions attached to the Planning Permission and further assessments of the RMA details have been undertaken in relation to wind and light pollution to inform this ES SoC. This additional assessment work, which is relevant to the RMA details for Plot H1 and H2, was submitted as 'further environmental information' to supplement the existing Canada Water Masterplan ES.

## Ground conditions

98. A report on a supplementary ground investigation was prepared in May 2021 by Soil

Consultants. This was a geotechnical report with limited information on ground gas. This report confirmed ground conditions within this part of the Site to be as per the previous ground conditions reports undertaken and referenced in the Canada Water Masterplan ES. There are therefore no changes to the likely significant ground conditions effects or mitigation previously identified within the approved Canada Water Masterplan ES in light of this report.

## Ecology

99. A Preliminary Roost Assessment (PRA) of the buildings within Development Zone H undertaken in March 2020 found that the main Printworks has low potential for roosting bats. This was a change to the baseline conditions recorded as part of the 'Extended' Phase 1 Habitat Survey undertaken in April 2017 (reported in the Canada Water Masterplan ES) which assessed all buildings and trees associated with Development Zone H to have negligible potential for supporting roosting bats. As a result, in line with best practice guidelines, a single evening emergence survey was undertaken in August 2021 to determine the presence / likely absence of roosting bats within the Printworks building. The survey recorded no bats emerging from the Printworks building and hence roosting bats are considered to be absent from this building.
100. The Printworks building does retain its potential for nesting birds, and nesting bird behaviour was identified during the PRA. As such, the recommendations previously detailed within the Canada Water Masterplan ES for pre-demolition / pre-clearance nesting bird checks where works are undertaken during the breeding bird season (i.e. March to August) remain valid.
101. No changes were identified to the baseline conditions since the 'Extended' Phase 1 Habitat Survey was undertaken in 2017 (reported in the Canada Water Masterplan ES).
102. In light of the above, it is considered that there are no changes to the baseline and the likely significant ecology effects previously identified. The mitigation previously identified within the approved Canada Water Masterplan ES remains valid.

## Wind

103. The overall form of Plots H1 and H2 would remain similar to the maximum parameter envelope assessed in the Canada Water Masterplan ES. Whilst the NMA results in minor changes to the approved parameters of Development Zone H, there will be no significant or material change to the wind microclimate effects or mitigation previously identified within the approved Canada Water Masterplan ES as a result.
104. The RMA for Plot H1 and H2 provides the detailed layout and form for Plot H1 and H2, including the introduction of Printworks Walk, a pedestrian route to the Park between Plots H1 and H2; confirmation of entrance locations; and the provision of terrace levels to the third, fourth, fifth and sixth floors of the Spine Building and the fifth and sixth floors of the Print Hall Building. Information confirming the locations of entrances and terraces was not available when the assessment of the Outline Proposals, including

Development Zone H, was undertaken, as presented in the Canada Water Masterplan ES. As a result, in support of the RMA (as amended by the NMA), Plots H1 and H2 have been assessed qualitatively using the professional judgement of a wind engineer, informed by the wind tunnel testing for the Canada Water Masterplan ES. The results of this assessment are presented in a Pedestrian Level Wind Microclimate Assessment Report for Plots H1/H2.

105. Wind conditions at Plots H1/H2 have been categorised using the Lawson Comfort Criteria, an industry standard approach which provides a set of prescribed criteria for assessing the predicted wind conditions compared against the intended pedestrian uses having regard to the level of comfort required for particular activities (sitting, standing, strolling, walking etc). This approach allows for the suitability for the intended pedestrian uses to be assessed and where windier than suitable conditions identified, appropriate wind mitigation measures to be proposed.
106. Wind conditions assessed in the Pedestrian Level Wind Microclimate Assessment Report for Plots H1/H2 would have a similar range to those identified in the Canada Water Masterplan ES during the windiest season. Whilst thoroughfares would be suitable for their intended use, some entrances, notably two on the southern elevation of Plot H1, and the terraces on the fifth and sixth floor of the Print Hall Building, would be windier than suitable without additional mitigation. These areas will require further mitigation, to be provided through development of the landscaping scheme which is required to be submitted to the Council for subsequent approval in accordance with condition 77 of the Planning Permission.
107. Prior to the implementation of the above mitigation measures, the wind conditions at entrances and on the Print Hall Building amenity terraces would result in new effects of minor to moderate adverse significance. With the implementation of wind mitigation measures via the development of a landscaping scheme, it is considered that significant effects would be mitigated, such that there would be no additional significant residual effects compared with those previously identified within the approved Canada Water Masterplan ES and the residual effects of wind at all entrance and amenity terrace locations would be insignificant.
108. In order to improve wind conditions at entrance locations on the southern elevation of Plot H1 and the southern entrance to retail units on the south-western elevation of the Spine Building, wind mitigation measures would be required to provide a transition zone between the calm interior environment and the windier pedestrian thoroughfares. Mitigation in the form of the following measures will be implemented into the proposed landscaping scheme:
  - Landscaping such as dense planting in planters or hedging of 2m total height and extending at least 1.5m from the façade;
  - A landscaping scheme with large elements such as trees or sculptures and substantial low level planting of at least 1.5m in height to reduce windiness in areas where entrances would be sited.
  - For the terraces - small trees at least 3m in height;
  - For the terraces - dense landscaping in planters or screening at least 1.5m in height distributed within and around the terrace space; or

- The use of planting or screens at least 1.5m in height on two adjacent sides of the seating provision.
109. Other Development Zones within the Canada Water Masterplan would provide shelter to Plot H1 / H2 from the prevailing winds; the substantial massing of Plot F and Plot G would be located to the south-west and Plot L would be located to the north-east. In an interim scenario, without these plots built out and with no consideration of existing landscaping (reflecting a 'worst case' basis for assessment), the area surrounding Plot H1 / H2 would be more open and more exposed to the prevailing south-westerly and north-easterly winds. However, it should be noted that there is currently substantial landscaping to the south of Plot H1 / H2 and in the event that this existing landscaping is retained, this would be beneficial in terms of wind conditions.
  110. In the absence of existing landscaping and considering the increased exposure of Plot H1 / H2 in the absence of the surrounding Development Zones of the Canada Water Masterplan, it is expected that the windier areas identified above (at the entrance to the H1 lobby, the entrances to the units on the southern elevation of the Spine Building and the area of windy conditions around the northern corner of the Plot) would expand. Whilst wind conditions on thoroughfares would be expected to remain suitable, where landscaping is intended to provide shelter to entrance areas this would likely need to be of greater density (number of trees, increased dense low level planting / hedging) than with either existing landscaping retained or the surrounding Canada Water Masterplan plots built out.
  111. It is also likely that the increased exposure to the prevailing winds would increase windiness on the Print Hall Building level six terrace. As this would be the most exposed area on Plot H1/H2, it is likely that conditions would be windier, with the potential windier strolling use conditions experienced during the summer season, which would be two categories of the Lawson criteria windier than suitable for seated occupants. As such, increased shelter would be beneficial in the interim scenario, with increased balustrade height or additional dense planting around the terrace boundary, and greater use of small trees and localised screening for seating occupants. Terraces on the Spine Building and the Print Hall Building level 5 terrace would be sheltered by the mass of Plot H1 / H2 itself and be expected to have similar conditions to those in the context of the Canada Water Masterplan.
  112. It would remain the case that no safety concerns would be likely at any areas of Plot H1 / H2 in the interim scenario.
  113. There is a condition attached to the OPP requiring submission of detailed wind mitigation measures prior to commencement of above grade works. Such measures would need to take account of the aforementioned factors.
  114. Prior to the implementation of the above mitigation measures, the wind conditions at entrances and on the Print Hall Building amenity terraces would result in new effects of minor to moderate adverse significance. With the implementation of wind mitigation measures as identified above and considered in the context of the surrounding conditions on occupation, it is considered that significant effects would be mitigated such that the residual effects would remain as reported in the approved Canada Water

Masterplan ES, namely insignificant.

## Light pollution

115. The Canada Water Masterplan ES did not assess light pollution from the Outline Proposals as sufficient information was not available at that time. Now that additional details are available in relation to Plots H1 and H2, Arup, who are undertaking the lighting design for these plots, has undertaken an assessment of Light Pollution based on the submitted lighting design details. The lighting design submitted as part of the RMA limits the exterior lighting to lighting units mounted on the building façade below parts of the building which block upward light, or where the lighting is angled towards the façade. Building façade illumination is primarily accent lighting, controlled to illuminate building details in specific areas of the facade, rather than floodlighting of the entire façade. The majority of the façade will not be illuminated.
116. These measures will ensure that the design will not exceed the permitted levels of upward lightspill resulting in a negligible effect in terms of light pollution to the night sky, with the effects of lighting intensity and building luminance being negligible, or at worst minor adverse. The interior lighting design includes occupancy sensing on the office floors with separate zones of control along the perimeter adjacent to the glazing. This is designed to limit light intrusion to adjacent residential uses. A light intrusion assessment, undertaken by preparing a computer-generated 3D model of Plots H1 and H2 and using specialist lighting simulation software, found that light intrusion levels would be unlikely to exceed the permitted light levels, resulting in a negligible or, at worst, minor adverse, effect, subject to the final lighting specification.
117. There are conditions attached the OPP to control external lighting on the buildings and within areas of public realm.

## Solar glare

118. In relation to Solar Glare, Plots H1 and H2 run parallel to Printworks Street and have the potential to give off direct solar reflections which would be visible by road users. In particular, it is expected that these buildings would be visible predominantly from Surrey Quays Road, Quebec Way as well as from New Brunswick Street and Printworks Place within the Canada Water Masterplan Site.
119. A detailed technical assessment has not been undertaken and so it is not possible to confirm precisely at which time of the day and year reflections may be visible from neighbouring sensitive viewpoints, however the following conclusions can be made:
  - Plots H1 and H2 are of limited height and would therefore mainly be visible from the road viewpoints in their immediate proximity;
  - Plots H1 and H2 are surrounded by other zones of the Canada Water Masterplan (Zones F, G, J and L) to the south, north-east and south-west and by neighbouring consented schemes to the north and to the north-west. These buildings would have a similar scale or be bigger than Plots H1 and H2. Therefore, it is unlikely that Plots H1 and H2 would give rise to significant glare issues in the long term, as the neighbouring context would intercept sun rays

from a number of locations and also screen the direct view of Plots H1 and H2's facades from the majority or sensitive viewpoints in the area.

- Assuming that non-reflective metal cladding will be specified for the external facades, there are only small portions of the façade area, the windows, that have the potential to give rise to direct solar reflections. The duration of any reflections would therefore be inherently limited and reflections would be broken up and expected to occur predominantly above the visor cut-off line.
- Chapter 16 of the of the Canada Water Masterplan ES identified the residual Solar Glare effects of the Detailed Proposals of the Canada Water Masterplan (Plots A1, A2, K1 and the Interim Petrol Filling Station) to be Minor to Moderate Adverse, depending on the viewpoint considered. It is unlikely, assuming the use of non-reflective metal cladding, that the residual effects for Plots H1 and H2 would be greater than those reported for the Detailed Proposals in Chapter 16 of the Canada Water Masterplan ES.

### Socio-economics

120. The Applicant's appointed socio-economic specialists (Quod) have reviewed the socio-economic assessment within the Canada Water Masterplan ES in light of the Plot H1 and H2 proposals. The floorspace of Plots H1 and H2 will be within the maximum parameters of Development Zone H of total floorspace and uses of the approved Canada Water Masterplan as considered by the socio-economic assessment.
121. Together, Plots H1 and H2 would deliver 2,315 to 3,010 jobs. This range falls within the ranges set out in the approved Canada Water Masterplan ES across all scenarios. Therefore, the proposals for buildings H1 and H2 are in conformity with the likely significant socioeconomic effects identified within the approved Canada Water Masterplan ES.
122. The loss of the existing entertainment venue would result in a loss of employment. However, it is not possible to quantify the amount of FTEs that are generated by the temporary use due to the flexible and transient nature of the how the venue can be used. In any event the proposed redevelopment of the Masterplan will generate a significant quantum of development which will bring economic benefits to the Borough.
123. The loss of the entertainment venue as a cultural facility is recognised and it is acknowledged that the music venue makes a positive social contribution to London. However, as discussed in the land use section of this report this use was only ever intended to be a meanwhile use pending redevelopment of the site.

### Transportation and access

124. The Applicant's transport consultants (Arup) have reviewed the Transport Chapter of the Canada Water Masterplan ES and the Transport Assessment (TA) in light of the Plot H1 and H2 proposals. Although the baseline traffic data is not considered to be representative of the current conditions given the Covid-19 pandemic, it is considered that reliance on the data used for the approved Canada Water Masterplan ES and TA remains appropriate.

125. The total floorspace of Plots H1 and H2 will be within the maximum floorspace parameters of the approved Canada Water Masterplan. The proposals are therefore in conformity with the assessment of likely significant transport effects and the transport related mitigation previously identified within the approved Canada Water Masterplan ES remains accurate and valid.

### Noise and vibration

126. As the proposals are in conformity with the approved floor space areas and uses, there will be no significant or material change to the traffic data or road traffic related noise and vibration effects identified within the approved Canada Water Masterplan ES.
127. Conditions attached to the OPP require that the rated sound level from any plant, together with any associated ducting to be provided, shall not exceed the background sound level (LA90 15min) at the nearest noise sensitive premises and the specific plant sound level shall be 10 dB(A) or more below the representative background sound level in that location, with the background, rating and specific sound levels to be calculated fully in accordance with the methodology of BS 4142:20141.
128. All plant proposed for Plots H1 and H2 will be designed in line with the OPP requirements and agreed noise limits. As such, the proposals are and/or will be in conformity with the assessment of noise and vibration likely significant effects.

### Air quality

129. Plots H1 and H2 are proposed to be served by air and water source heat pumps which would not generate local emissions to air.
130. Given that Plots H1 and H2 do not include any car parking spaces and there would be no local emissions to air from the heating or energy plant, the Plot H1 and H2 development would be Air Quality Neutral.
131. Accordingly, the proposals are in conformity with the likely significant air quality effects previously identified within the approved Canada Water Masterplan ES, which identified that emissions from traffic and heating plant associated with the Development would be insignificant / negligible.

### Ground conditions and contamination

132. A report on a supplementary ground investigation was prepared in May 2021 (Soil Consultants, ref. 10609/OT (Rev 0)). This was a geotechnical report with limited information on ground gas. This report confirmed ground conditions within this part of the Site to be as per the previous ground conditions reports undertaken and referenced in the Canada Water Masterplan ES. As the supplementary ground investigation report has not yet been submitted for approval under the conditions attached the OPP, it is appended to this ES SoC and comprises 'further environmental information' for the purposes of the Canada Water Masterplan ES.

133. Whilst the footprint of the building sits slightly outside the maximum parameters of the approved Canada Water Masterplan which formed the basis of the assessment within the Canada Water Masterplan ES, there will be no significant or material change to the ground conditions and contamination effects or mitigation previously identified within the approved Canada Water Masterplan ES as a result. The proposals for Plot H1 and H2 are therefore in conformity with the assessment of likely significant ground conditions and contamination effects identified in the Canada Water Masterplan ES.

### Water resources and flood risk

134. There have been no changes to baseline flood risk data since production of the Approved Flood Risk Assessment and surface water runoff would be restricted and attenuated providing an improvement in runoff rates.
135. Water storage provision within Plots H1 and H2 is based on consumption of 20 litres per person per day, which represents a reduction from the industry standard of 25 litres per person per day established by the British Council for Offices (BCO). Low flow, water efficient showers, taps and WCs would be provided and a greywater system would be installed in the building for WC flushing. Each end-use category would be metered, and every office and retail tenant will be separately metered. Further information is set out in the Sustainability Statement which accompanies the RMA submission.
136. In light of the above, the proposals are in conformity with the assessment of likely significant water resources and flood risk effects identified within the approved Canada Water Masterplan ES.

### Archaeology (buried heritage)

137. The proposed non-material alterations to the height and building line would have no impact on below ground archaeological remains. As reported in the Canada Water Masterplan ES, Development Zone H lies within the extent of the former dock ponds, and MOLA previously assessed that the construction of a basement to a maximum depth of +0.4m OD (-0.6m OD including a 1m structural slab), as approved as part of the Canada Water Masterplan (Proposed Basement Extents Parameter Plan drawing referenced: CWM-AAM-MP-ZZ-DR-A-07005 Rev P4) , would entirely remove any surviving remains of the former dock walls only; all other archaeological remains will have been removed by the construction of the ponds.
138. As part of the RMA, the existing foundations and building structure would be re-used and whilst there would be excavations for below ground services, attenuation tanks and service areas (loading bay), these would remain within the basement extents previously assessed within the Canada Water Masterplan ES. As agreed at Outline stage no pre-determination investigation works were deemed necessary. Monitoring would comprise a programme of archaeological mitigation works, and a watching brief (with the capacity to extend to full excavation if required) during the excavation of the proposed below ground services, attenuation tanks and service areas to ensure that any archaeological remains encountered are not removed without prior recording, so that their significance can be greater understood. Future monitoring and mitigation is

already controlled by way of conditions attached to the OPP.

139. In light of the above, the likely significant archaeology (buried heritage) effects are in conformity with the assessment contained Canada Water Masterplan ES and the mitigation previously identified is secured and therefore required to be complied with.

### Daylight, sunlight and overshadowing

140. At the time of granting OPP the impact on daylight, sunlight and overshadowing arising from the development on nearby receptors was assessed using the maximum building envelopes created by the Parameter Plans. On this basis the impact deemed to be acceptable was the 'worst case scenario' and any refinement of the development proposals within the maximum envelopes would have the same or a lesser impact.
141. The daylight consultant has reviewed the RMA details for Plots H1 and H2. Comparison of the 3D model for Plots H1 and H2 with the Maximum Parameters approved for the Canada Water Masterplan considered in the Daylight, Sunlight, Overshadowing, Light Pollution and Solar Glare Chapter of the Canada Water Masterplan ES shows that the changes to the Maximum Parameter envelope are very minor. As such, this will not affect the assessment of effects of Daylight, Sunlight and Overshadowing on neighbouring properties compared with the Canada Water Masterplan ES.

### Townscape, visual and built heritage

142. The non-material amendments to the maximum parameter envelope proposed would be very slight relative to the scale of Development Zone H and the proposed detailed design would not noticeably increase the perceptible scale and bulk of Development Zone H in comparison to the maximum parameters of the approved Canada Water Masterplan assessed within the Canada Water Masterplan ES.
143. Although the existing building sits outside the maximum parameters of the approved Canada Water Masterplan, the maximum parameter envelope would not noticeably change the relationship of the proposed detailed design of Development Zone H to the streetscape of Reel Street or Printworks Street.
144. Noting the above, the detailed RMA proposals would be in conformity with the townscape visual or built heritage effects assessed in the approved Canada Water Masterplan ES. Accordingly there would be no change to the townscape, visual and built heritage effects or mitigation previously identified within the approved Canada Water Masterplan ES.

### Cumulative effects

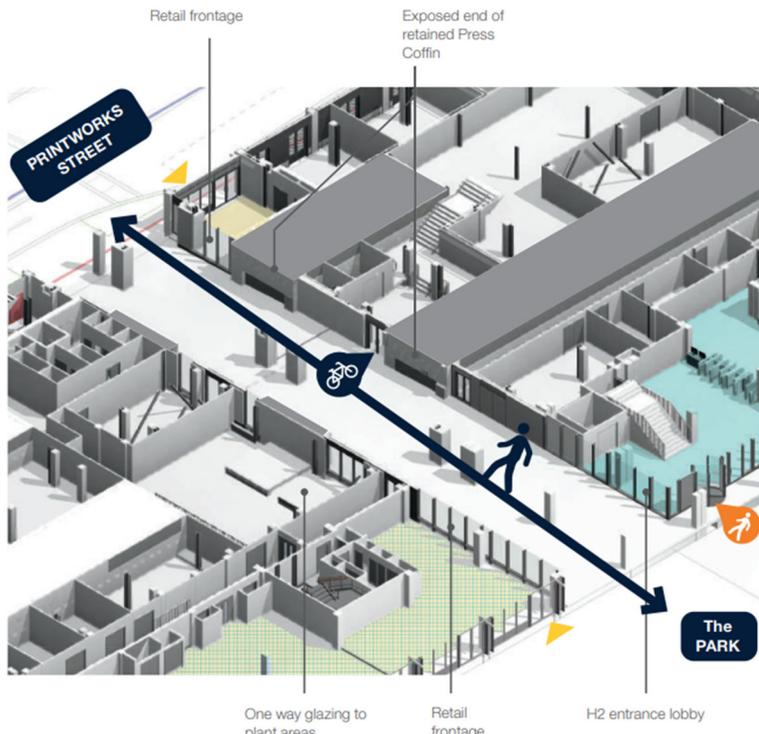
145. Given that no change is anticipated to the significance of environmental effects reported in the technical chapters of the Canada Water Masterplan ES, there would be no change to the cumulative effects previously assessed in the Canada Water Masterplan ES.

## **Design**

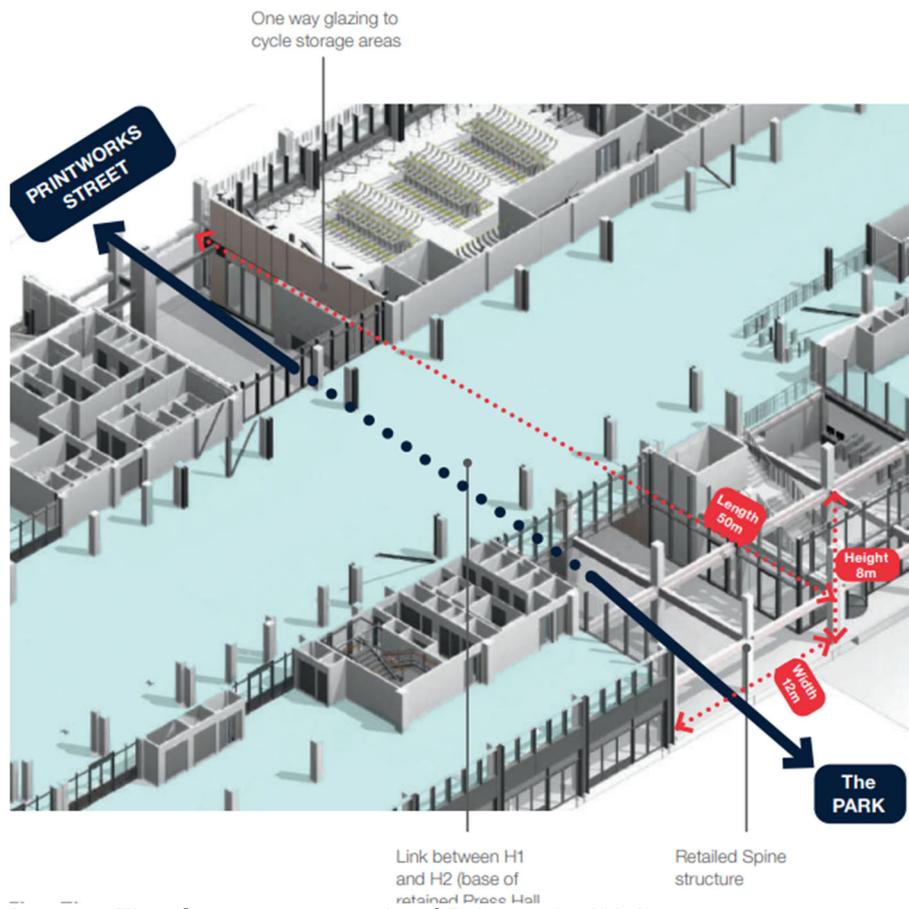
146. The OPP allowed for the retention and conversion or demolition and redevelopment of the former Printworks Building. This application proposes to extend and convert the existing building which is welcome from a design and sustainability perspective.

## **Site layout, access and public realm**

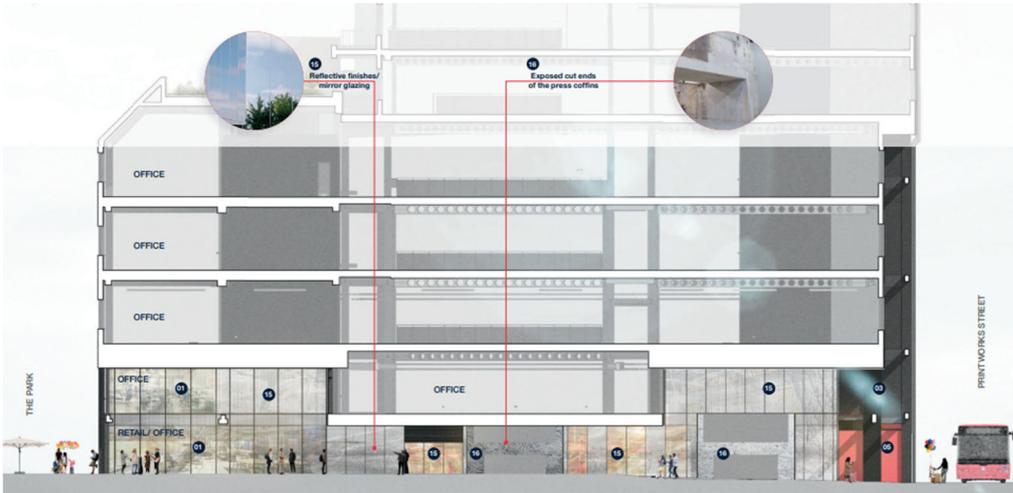
147. The proposed building is surrounded on all sides by public realm which provides pedestrian access around the site. The main entrance to H1 is located within the extensions proposed to the south-western facade of H1, from Printworks Place. The main H2 building entrance is located at the junction of Reel Walk and Printworks Walk and the corner of the Park on the south eastern facade. Secondary entrances are available on the eastern and western façades into the A1-A5 retail units. These entrances activate the routes along the Reel Walk and The Park.
148. As part of a separate RMA it is proposed to create a new street along the length of Printworks Building, providing vehicle access to the building as well as a new bus standing area. This street known as Printworks Street will run to the west of the building linking Surrey Quays Road with Quebec Way.
149. It is recognised that the Printworks Street frontage will comprise a number of back of house/servicing access points. However, this is the most appropriate location for these essential plant and servicing areas as Printworks Street is the main service route through this part of the town centre and; the other facades front onto more pedestrian focussed areas of public realm. The western edge of the building would be broken up by virtue of the public route through the site (Printworks Walk) and 3 smaller retail units along this frontage helps to activate this part of the adjacent public realm.
150. The proposed new Printworks Walk is a pedestrianised route which will connect Printworks Street and the Park. This new publicly accessible space is formed by physically cutting through the existing building to reveal the structure and form of the existing building. The proposed route would be double height on either end with a reduced single storey height in the centre, where the existing connection and base of the retained Press Hall connects between H1 and H2. At this 'crossing' point users of the walk are able to see up and into the building and users of the building are able to see down onto the public walk which accords with the OPP Design Code.
151. In order to ensure that Printworks Walk is a safe and attractive route it has been designed with a series of glazed and reflective finishes to reveal the 'inners' of the building. Where possible, active frontages have been provided to allow for passive surveillance of the space. A high quality design will be achieved internally through the detailed design elements and robust lighting scheme. In addition the applicant has proposed an enlivenment strategy (to be secured by condition). This strategy will ensure that the route becomes a 'an activated space where pop-ups and exhibitions will take place throughout the year. Use of Printworks Walk in this way will make a positive contribution to the permeability and public realm of this part of the town centre.



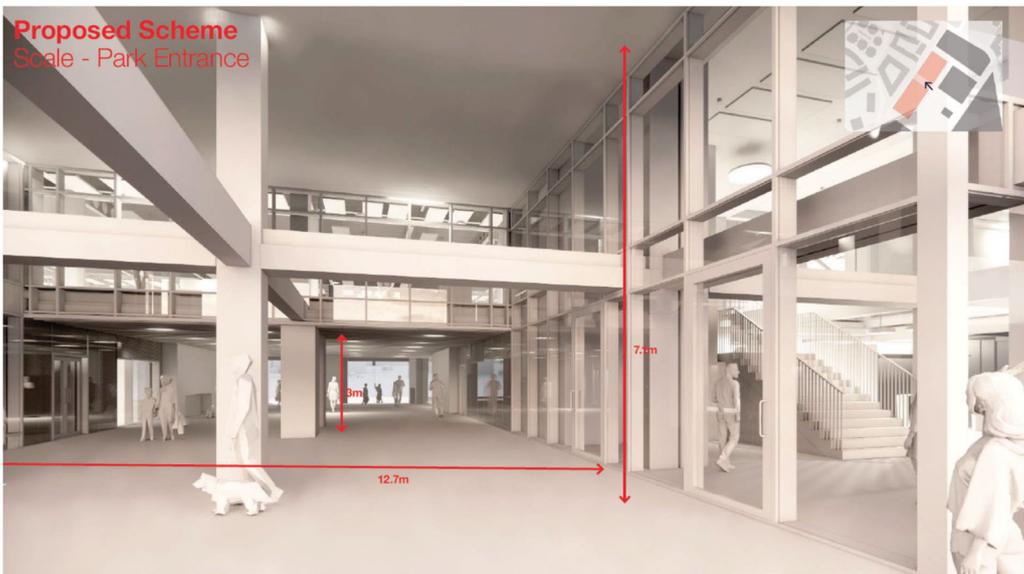
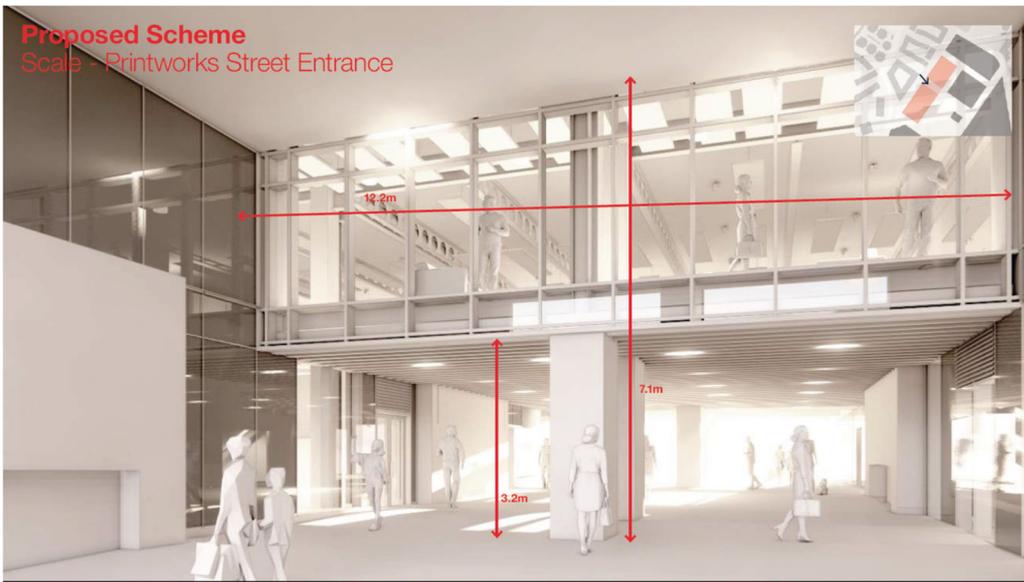
**Image:** Ground floor axonometric of Printworks Walk



**Image:** First floor axonometric of Printworks Walk



**Image:** Image to show section through Printworks Walk

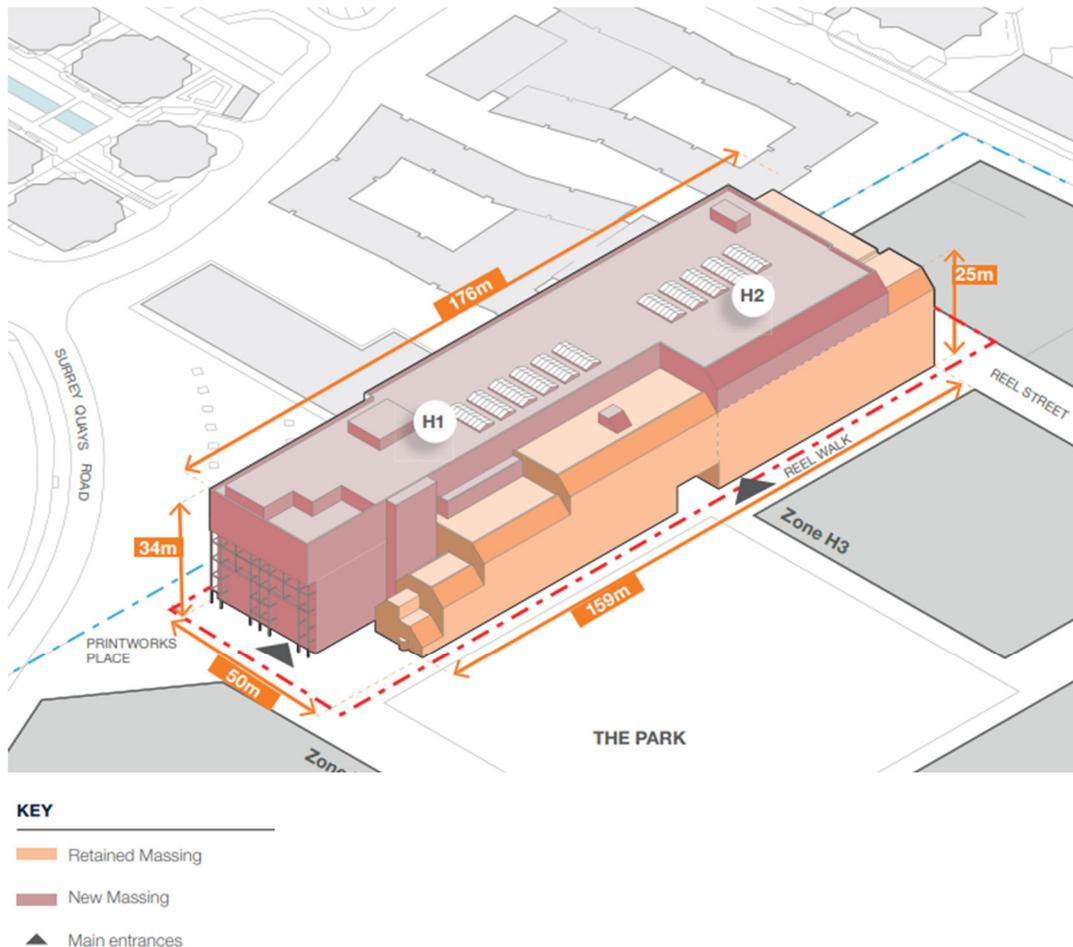


**Images:** CGI to demonstrate scale of Printworks Walk

152. Access for cycles is provided through the main entrances and both buildings have been provided with dedicated service yards, with H1 accessed from Printworks Street and H2 accessed from Reel Street.
153. The public realm surrounding the site will comprise Printworks Street to the west which is part of a network of streets across the Masterplan to facilitate pedestrian, cycle and vehicular movement which includes buses. Printworks Place to the south, which forms a nodal point, part of the strategic green link which connects Russia Dock Woodland and Southwark Park through the Masterplan. The space also accommodates the meeting of Printworks Street and New Brunswick Street with Surrey Quays Road as well as pedestrian and cycle movement through the space. Main entrances to both Plot F and Plot H buildings will face onto the space. The northern edge of the site will adjoin the proposed Reel Street which is intended to be a one way quiet street largely intended to serve the residential dwellings proposed in Zone L.
154. The eastern façade of the building will front onto the new public Park, the building has been designed to respond positively to the Park with a series of small retail/flexible commercial units that will activate the park edge. This public realm on this side of the building will integrate smoothly into the Park offering an attractive, well landscaped route for pedestrians and cyclists.
155. The site layout is logical responding well to the context and the approved parameters in terms of locations of building and public realm provision.

### **Height scale and massing and appropriateness of a tall building**

156. The OPP allows for a number of tall buildings throughout the Masterplan site including this plot and specifically for the retention, conversion and extension of the existing Printworks building which already constitutes a substantial building of significant scale and mass. The colossal scale and length of the existing building (176m in length) provides an integral part of its existing character. The proposals seek to enhance and amplify this asset to become a new landmark within the Masterplan.
157. It is proposed to extend the building vertically on the southern end and by one floor at roof level which would take the overall height of the building to 34m in line with the OPP.



**Image:** to show existing building and proposed extensions

158. In terms of form and massing it is appropriate that the additional roof height has been located above the Press Hall volume so that the building steps down in height towards the Park and on the northern end adjacent to Reel Street. This accords with the principles established by the OPP parameter plans and design codes.
159. The application proposes an extension to the southern end of the Building H1 (50m in depth). The south extension of the building has been proposed to create a new elevation of the building and identity when approaching from Canada Water Dock and the southern areas of the Masterplan. The extension would accommodate a new front entrance to the development through double and triple height spaces to create a striking and modern entrance appropriate to the scale and use of the building whilst also providing opportunities for active ground floor uses onto Printworks Place. The extension helps to overcome the level changes needed to bring users from ground level to the base of the Press Halls (Level 01); through new cycle ramp, grand stair and lift. It also provides the opportunity to create column free space needed for a loading bay away from the main constraints of the existing building and structure. The extension is considered to make a positive contribution to the conversion.
160. Overall the scale and mass of the proposed building is considered to be appropriate for this location and sits comfortably within the approved maximum height parameters

for the OPP.

## Architectural design and materials

161. Southwark Plan Policy P14 sets out the criteria for securing high quality design. In respect of architectural design and materials the policy requires all developments to demonstrate high standards of design including building fabric, function and composition; presenting design solutions that are specific to the site's historic context, topography and constraints; responding positively to the context using durable, quality materials which are constructed and designed sustainably to adapt to the impacts of climate change.
162. The Spine and Press Hall buildings have been conceived as a single building with separate architectural characters and this approach reflects the architectural treatment of the original Printworks buildings. The response aims to maximise the impact through colossal scale and repetition. The bold, functional form of the original Harmsworth Quays Printworks Building has strongly influenced the approach to the design and composition of the new façades.
163. The design utilises a simple palette of industrial materials and echoes the industrial language which was inherent in the original Printworks Building. The materials pallet proposes a grey metal cladding system for the Press Hall element and green metal cladding for the Spine. This striking contrast in colours gives a clear identity to the building as well as helping to break up the massing particularly when viewed from the east.

164.

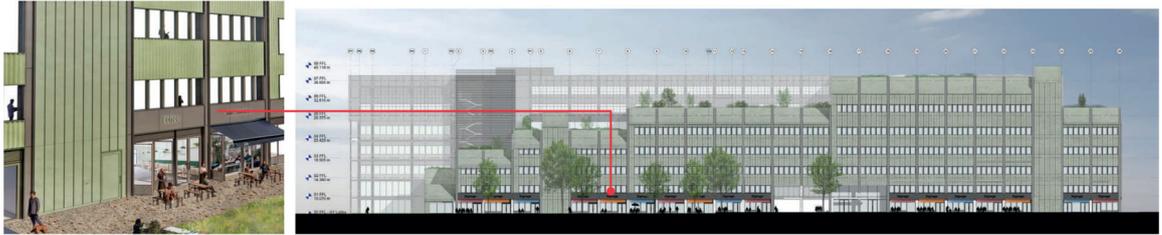


**Image:** Proposed west elevation fronting The Park



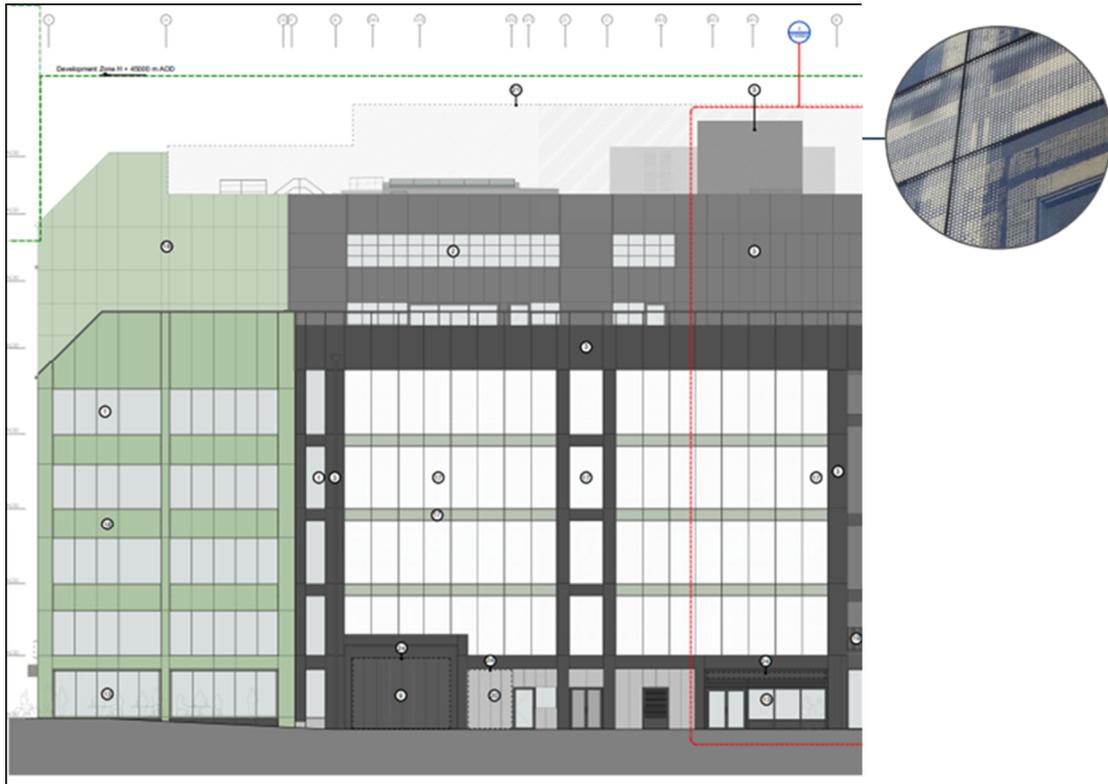
**Image:** Proposed east elevation fronting Printworks Street

165. To give the building a human scale and to add visual interest the ground floor shop fronts will have a different architectural treatment to the upper floors.



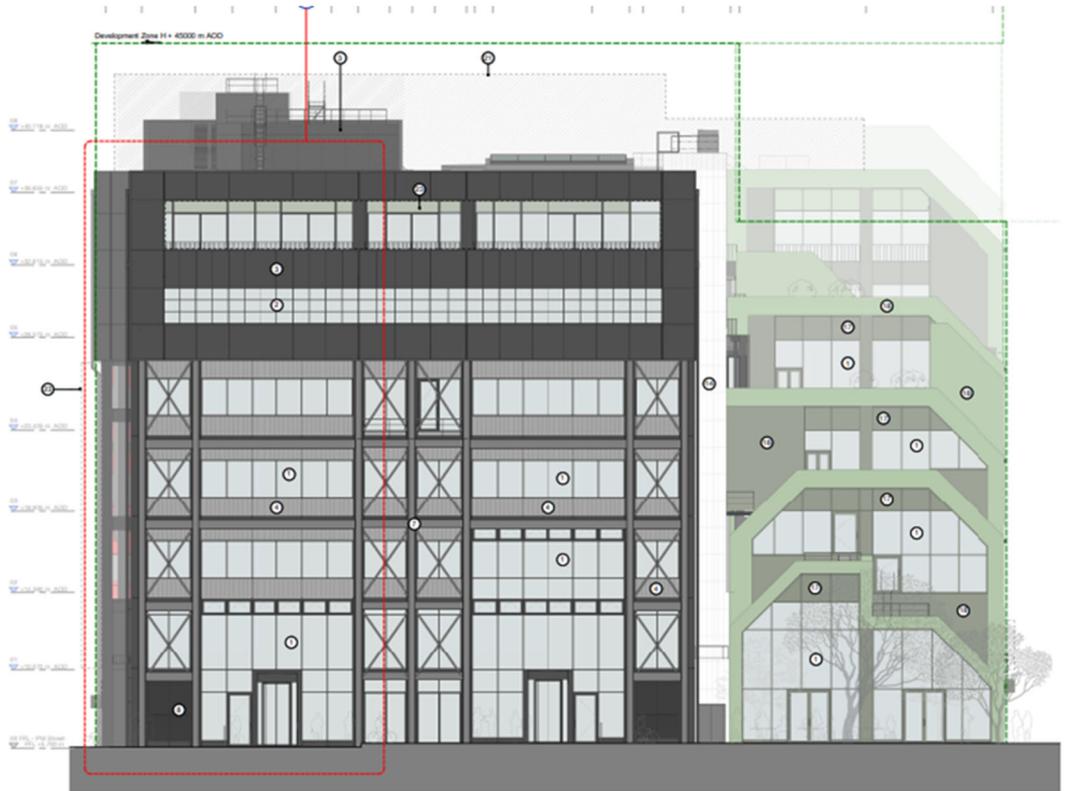
**Image:** shopfront treatment

166.



**Image:** Proposed north elevation fronting Reel Street with fritted design detail

167.



**Image:** Proposed south elevation fronting Printworks Place

### **Heritage considerations and impact on protected views**

168. Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires local planning authorities to consider the impacts of a development on a listed building or its setting and to pay special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
169. Chapter 16 of the NPPF contains national policy on the conservation of the historic environment. It explains that great weight should be given to the conservation of heritage assets. The more important the asset, the greater the weight should be (paragraph 199). Any harm to, or loss of significance of a designated heritage asset should require clear and convincing justification (paragraph 200). Paragraph 202 explains that where a development would give rise to less than substantial harm to a designated heritage asset, the harm should be weighed against the public benefits of the scheme. Paragraph 203 deals with non-designated heritage assets and explains that the effect of development on such assets should be taking into account, and a balanced judgment should be formed having regard to the scale of any harm or loss and the significance of the asset. Working through the relevant paragraphs of the NPPF will ensure that a decision-maker has complied with its statutory duty in relation to Conservation Areas and Listed Buildings.

170. Development plan policies (London Plan Policy HC1 and Southwark Plan Policies P19, P20 and P21) echo the requirements of the NPPF in respect of heritage assets and require all development to conserve or enhance the significance and the settings of all heritage assets and avoid causing harm.
171. The site does not include any listed buildings and is not in a conservation area. Although it is an iconic building the former Printworks Building is not considered to be a non-designated heritage asset. However within the vicinity of the site are a number of heritage assets including: The Grade II Listed Dock Manager's Office and 1-14 Dock Offices on Surrey Quays Road and the Turntable and machinery of the former swing road bridge near Redriff Road. Nearby are the Grade II Registered Southwark Park and the Grade II Listed Former Pumping Station on Renforth Street. The area is rich in undesignated heritage assets and structures including the Canada Water Dock and its associated Dock structures and channels, Greenland Dock and Stave Hill. Further afield are a number of Conservation Areas including the St Marys Rotherhithe and the Edward III's Rotherhithe Conservation Areas, both located on the banks of the river, north of the Masterplan. The north bank of the river in Tower Hamlets also includes a number of conservation areas from which the Canada Water development will be visible.
172. The heritage impact of the redevelopment of the Canada Water Masterplan site was robustly considered as part of the OPP. The impact of retaining or demolishing the existing Printworks buildings formed part of that assessment and the proposal was deemed to be acceptable. This RMA application does not introduce any new considerations in respect of impact on heritage assets. The slightly amended footprint and height would have no discernible impact on views of the development from the nearby conservation areas or longer views of the Masterplan redevelopment from the River Thames.
173. This particular plot is not affected by a protected London or Borough view.

### **Landscaping, trees and urban greening**

174. London Plan Policy G7 and NSP Policy P61 recognise the importance of retaining and planting new trees wherever possible within new developments, Policy G5 requires major development proposals to contribute to the greening of London by including urban greening as a fundamental element of site and building design, and by incorporating measures such as high-quality landscaping (including trees), green roofs, green walls and nature-based sustainable drainage. The policy identifies a scoring system for measuring urban greening on a particular site (Urban Greening Factor) and suggests a target score of 0.4 for developments that are predominately residential, and a target score of 0.3 for predominately commercial development.

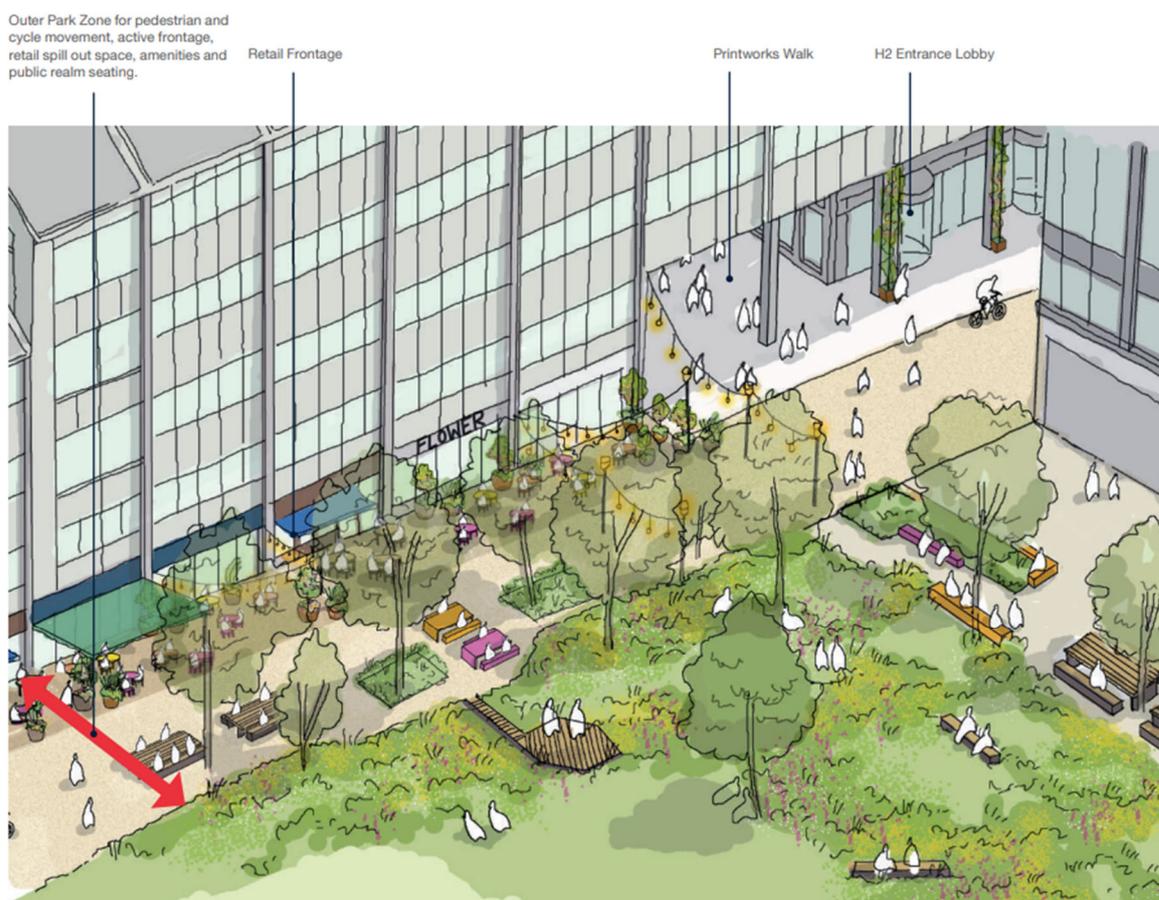
### **Landscaping**

175. The application boundary for this RMA is drawn tightly around the building structure, but the building is surrounded by a series of street and public spaces, including the new Park, which are all subject to separate approvals and will, in combination, provide extensive areas of landscape and public realm.

176. This RMA seeks detailed approval for temporary landscaping works within the Plot H1 and H2 boundary. Details of the permanent landscape design surrounding the building will come forward as part of separate, future RMAs to allow for the future public realm proposals to be co-ordinated with the Printworks building and other areas of public realm, such as Printworks Street, Printworks Place and the Park. The temporary proposals comprise the planting of 20 temporary trees and retention of 1 existing tree.
177. There are existing trees on site which will be removed to facilitate the redevelopment of this plot. However, the tree retention and planting strategy for the Masterplan site was robustly considered at OPP stage. The s106 agreement includes an obligation to retain 49 trees or groups of trees across the Masterplan site as well as a tree planting strategy to ensure that a minimum of 658 new trees (with a canopy cover of 39,433 sqm) are planted across the Masterplan site.
178. An RMA has been approved for Printworks Street (21/AP/3469) which forms the public realm to the west of Buildings H1 and H2. The approved details for this street show a one way vehicular route intended to be one of the main servicing routes through this part of the town centre. Printworks Street would link Surrey Quays Road to Quebec Way and would also provide access into Reel Street. Printworks Street will provide a bus route through the town centre. Whilst it is not intended to provide bus stops in Printworks Street bus stands for 3 buses are provided and bus driver facilities are provided in the ground floor of H2.
179. Printworks street has been designed as a one way street with pedestrian footway running adjacent to the building. The footway incorporates seating and planting to enhance the public realm. As discussed in the transport section of this report there is an aspiration for Printworks Street to be developed as a two way street subject to agreement between all relevant adjacent landowners.
180. A RMA has been submitted for Reel Street (21/AP/3793) which forms the public realm to the north of Building H2. The street is intended to be a low trafficked street serving Plot H2 and the residential dwellings proposed in Zone L. The street would accommodate disabled parking provision and has been designed with pockets of soft landscaping. This application has not yet been approved.
181. A RMA has been submitted for Printworks Place (21/AP/4616) which forms the public realm to the south of Building H1. The submitted details show that Printworks Place has been designed as a key intersection and area of public realm between the Park Neighbourhood, Central Cluster and Town Centre, as defined in the OPP. The space has been designed for pedestrians and cyclists and would provide planting, seating and opportunities for public art with the intention of creating a nice space to dwell as well as providing an important link into the entrances to Building H1 and Plot F. This application has not yet been approved.
182. The public realm to the east of Buildings H1 and H2 will form the edge to the future public park. Schedule 18 of the s106 to which this RMA will be bound, requires British Land to deliver 50% of the Park prior to the occupation of Zone H or Zone G. A detailed RMA has not yet been submitted for Park. This is anticipated to be submitted by the

end of 2022. In the meantime this RMA provides illustrative designs for the Park edge to provide context and show design intent.

183. The illustrative images show that the Printworks building will have a long frontage onto the proposed park, the ground floor of which will be activated with retail. An 'outer park' zone around the perimeter of the park will be created to transition between the building edge activity, movement zones and the inner area of the park. Vehicular access into this area will be restricted to emergency vehicles only. A strong relationship between the active frontage of the Printworks building and the park will create an engaging and active route along the park edge. This approach is consistent with the consented Public Realm Design Guidelines.



Illustrative sketch of the 'outer park' adjacent to the Printworks Building

**Image:** Illustrative proposals for the Park edge

## Urban greening

184. The OPP was not subject to an Urban Greening Factor Assessment as it predated the formal adoption of the London Plan 2021 and Southwark Plan 2022. Nevertheless, at the time of granting the OPP significant enhancements were secured in respect of landscaping, habitat and ecology enhancements and tree planting. Through the approved Parameter Plans, Design Codes, conditions and obligations attached to the OPP the redevelopment of the town centre as a whole will bring significant benefits in respect of urban greening.

185. This application has been accompanied by an UGF assessment which demonstrates that the development for this Plot will achieve a score of 0.2 through a combination of low level planting, new tree planting, green roofs and planted terraces. The applicant has sought to maximise the amount of greening, taking into account the constraints posed by the adaptation of an existing building and the competing requirements for space for the sustainable functioning of the building including PVs, plant, access/maintenance systems etc. Whilst the urban greening score falls short of policy G5 targets, the RMA boundary is very tight to the building and therefore urban greening measures which may come forward as part of the surrounding public realm (subject to future Reserved Matters Applications) are not accounted for in this score.
186. As discussed earlier in this report, for this particular plot there is a s106 requirement to deliver 50% of the adjacent public park prior to occupation of the building. As this key piece of public realm is required to come forward at the same time as Plot H it would be reasonable to take account of the urban greening benefits associated with delivery of the park. If delivery of 50% of the Park is taken into account the UGF score rises to 0.3 thus meeting targets.
187. In addition for information purposes the applicant has submitted an UGF Assessment based on illustrative designs for the Central Quarter (Zone F, G, Park Walk (between F and G) and Printworks Place/New Brunswick Street) and the Neighbourhood Quarter (Zones H, L and J and the Park). This document is intended to demonstrate that once the detailed designs for areas of public realm surrounding the buildings in the first phases of the Masterplan are fully designed and submitted (under separate RMAs), the development will achieve above the 0.35 target. (an aggregate target for mixed use schemes). These calculations are based on a number of assumptions and are illustrative only given that designs for the public realm are on-going. This document does however demonstrate that overall the Masterplan will achieve UGF targets.
188. Overall it is clear that redevelopment of this part of the town centre will introduce more soft landscape and urban greening benefits.
189. The OPP fully considered the impact of the redevelopment on all existing trees and secured appropriate re-provision of trees throughout the town centre as well as requiring tree protection measures any identified for retention. The s106 agreement includes an obligation to retain 49 trees or groups of trees across the Masterplan site as well as a tree planting strategy to ensure that 658 new trees (with a canopy cover of 39,433 sqm) are planted across the Masterplan site.

### **Design review panel**

190. This application was presented to Southwark Design Review Panel in June 2021. Their full comments are attached as Appendix 6 but in summary the Panel considered this an inspiring and exciting project and they applauded the ambition to re-purpose and re-invent this unique building. They endorsed the depth of thinking that had gone into the design and encouraged the designers to enhance the landscape and edge treatments on Printworks Street, Printworks Walk and the Park. They challenged the design team to open up the central space and the ground floor to some element of

public use, to celebrate the asymmetry of the building and to look again at the detailed design of the top in order to break up and lighten its silhouette.

191. The application proposes to enliven Printworks Walk by way of space for pop-ups, exhibitions, public art, high quality lighting and materials. Natural surveillance will be maximised by way of the retail units facing into the entrance areas and the design of the bridge at first floor level which will afford views into the space. A series of commercial units will front onto the new Park edge providing an interesting and active frontage to the building.

### **Designing out crime**

192. Policy D3 of the London Plan 2021 states that measures to design out crime should be integral to development proposals and be considered early in the design process. Developments should ensure good natural surveillance, clear sight lines, appropriate lighting, logical and well-used routes and a lack of potential hiding places. Policy P16 of the Southwark Plan 2022 reinforces this and states that development must provide clear and uniform signage that helps people move around and effective street lighting to illuminate the public realm.
193. These principles have been incorporated into the design of this building. The development will be required to achieve SBD accreditation. Compliance has been secured by way of conditions attached to the OPP.

### **Fire safety**

194. A Fire Safety Strategy has been submitted to demonstrate compliance with the requirements of London Plan Policy D12. The statement has been prepared by a suitably qualified expert. Access for fire fighting facilities would be provided to all elevations of the building. Access to fire fighting cores is provided from Printworks Street and Reel Street. Access along the edge of the park has been proposed only in emergency and allows the fire tender vehicle to access retail units in the event of an emergency.
195. The statement sets out principles to be applied in respect of means of escape, provisions to stop the spread of fire within the building and externally, passive and active safety provisions, ventilation, maintenance and access for emergency vehicles.
196. The document was updated to fully explain the evacuation strategy. The design assumes a simultaneous egress strategy as it places the most onerous demands on the facilities and design features that supports evacuation, and hence forms the worst case. Often termed “one out, all out” unlike phased evacuation which is a common strategy in a building of this scale, the simultaneous evacuation strategy means evacuation times are faster and occupants do not remain or are held in areas of the building. It is the simplest escape strategy, the most common of all fire evacuation procedures and usually the one that most people will have experience of.
197. In respect of evacuation for Mobility Impaired Persons (MIPs) as an adaptive re-use of an existing industrial building, the Printworks’ unique physical constraints create design

challenges that require a project specific approach to the fire safety strategy. There is currently no guidance as to how Policy D5 can be applied to existing buildings, where the freedoms afforded by new construction cannot be applied. Therefore, the fire strategy relies on a combination of physical and managerial provisions to adopt a balanced approach for the Printworks Building. This will rely on four main elements:

- 1) Through the use of Personal Emergency Evacuation Plans (PEEPs), occupiers will be given the earliest possible warning of a fire. A Public Address/Voice Alarm (PA/VA) system, in line with BS 5839-8 is proposed which will provide the prompt for MIPs to start their evacuation through a broadcasted message.
  - 2) The use of the four firefighting lifts for means of evacuation prior to the arrival of the attending Fire Service, which will be facilitated by a suitably trained and competent person/s within the Building Management team. The location of the four firefighting lifts allows travel distances to fall in line with guidance when measured from the furthest points on a floor plate to the nearest core which provides access to a firefighting lift.
  - 3) The provision of 1400mm x 900mm refuge spaces within places of relative safety i.e. protected stairs or protected lobbies leading to protected stairs, on all storeys without level access. In addition, the provision of Electronic Voice Communication (EVC) Systems for communication with the Building Management team who will be positioned within the building's Fire Control Centre (FCC).
  - 4) The simultaneous evacuation regime means full evacuation of the building is anticipated prior to the arrival of the Fire Service. If however the Fire Service wish to assume control of the firefighting lifts and at this point it is still necessary to use lifts for MIP egress, this can be managed through co-ordination between Building Management and the Fire Service via the Fire Control Centre (FCC). This approach is supported by each building being provided with two firefighting lifts and therefore potentially allows simultaneous use by the Fire Service for firefighting activities and any ongoing evacuation demands by Building Management.
198. Evacuation chairs are also proposed in providing a redundancy resource on top of the multiple layers of provisions already outlined, so if the Fire Service deem it necessary to assume control of both lifts (noting the building is sprinkler protected and full evacuation is anticipated prior to their arrival) evacuation may still be facilitated by a suitably trained and competent person/s within tenancies.
199. The MIP egress strategy is centred around the use of the firefighting lifts. Any use of evacuation chairs are provided only as redundancy to the lift-based provision. This is done through suitably trained and competent person/s from the tenancy are to facilitate MIPs in their escape via evacuation chairs traversing protected stairs through a carry-down procedure, to a place of ultimate safety i.e. public spaces outside.

200. In response to the query raised by the London Fire Brigade in respect of fire hydrants the applicant has confirmed that the provisions of hydrants serving Canada Water Plot H1/H2 will follow recommendations given in BS 9999:2017 (Note: these are the same recommendations given in Approved Document B) as per LFB's consultation response. This is to be done through either evaluating existing hydrant provisions and/or the installation of new hydrants where necessary. The evidence of this exercise and ultimately demonstrating that the design has allowed for this provision will form part of the RIBA Stage 4 Fire Strategy submission to Building Control, in which the London Fire Brigade will be of receipt through the Statutory Consultation process.
201. Overall, the Fire Statement is considered appropriate to satisfy Policy D12.

### **Ecology and biodiversity**

202. The protection and enhancement of opportunities for biodiversity is a material planning consideration. London Plan Policy G6 requires development proposals to manage impacts on biodiversity and aim to secure net biodiversity gain. This should be informed by the best available ecological information and addressed from the start of the development process. Southwark Plan Policy P60 seeks to protect and enhance the nature conservation value of Sites of Importance for Nature Conservation (SINCs), enhance populations of protected species and increase biodiversity net gains by requiring developments to include features such as green and brown roofs, green walls, soft landscaping, nest boxes, habitat restoration and expansion, improved green links and buffering of existing habitats.
203. The impact of the development upon ecology was robustly considered as part of the OPP (within the Environmental Statement) when the principle of the development was established. Appropriate ecological surveys were submitted and those surveys have subsequently been updated by way additional bat surveys.
204. The Masterplan redevelopment will significantly enhance provision of open space and opportunities for habitat creation throughout the town centre.
205. This particular development plot includes very limited areas of public realm which could be soft landscaped but will have a positive relationship with the adjacent park. The detailed design for the park is subject to a future RMA and there is an existing obligation to deliver 50% of the park prior to occupation of this plot.
206. Ecological enhancements for this RMA will comprise features to be incorporated into the building fabric (biodiverse roofs) and planting for the terraces.
207. There are already conditions attached to the OPP in respect of soft landscaping, green/brown/biodiverse roofs and walls, biodiversity, habitat and ecology features, precautionary bat surveys and ecologically sensitive lighting. Finally, Schedule 3 of the s106 agreement to which this RMA will be bound includes an obligation for the applicant to submit a site wide ecology management plan and a financial obligation was secured towards toward the cost of monitoring the ecological works proposed to Canada Water Dock, The Park and other habitat and ecological enhancements to be

delivered across the Masterplan site.

208. The impact of the proposal upon ecology has been fully considered and opportunities to enhance ecology have been maximised.

### **Impact of proposed development on amenity of adjoining occupiers and surrounding area**

209. The importance of protecting neighbouring amenity is set out Southwark Plan Policy P56 which states “Development should not be permitted when it causes an unacceptable loss of amenity to present or future occupiers or users”. The adopted 2015 Technical Update to the Residential Design Standards SPD 2011 expands on policy and sets out guidance for protecting amenity in relation to privacy, daylight and sunlight.
210. The impact of the development in terms of daylight and sunlight was assessed and deemed to be acceptable as part of the OPP. At that time, a building envelope, in terms of the maximum height and footprint of a building on this plot was established, having taken account of known development on neighbouring sites, and the relationship with other parts of the masterplan.

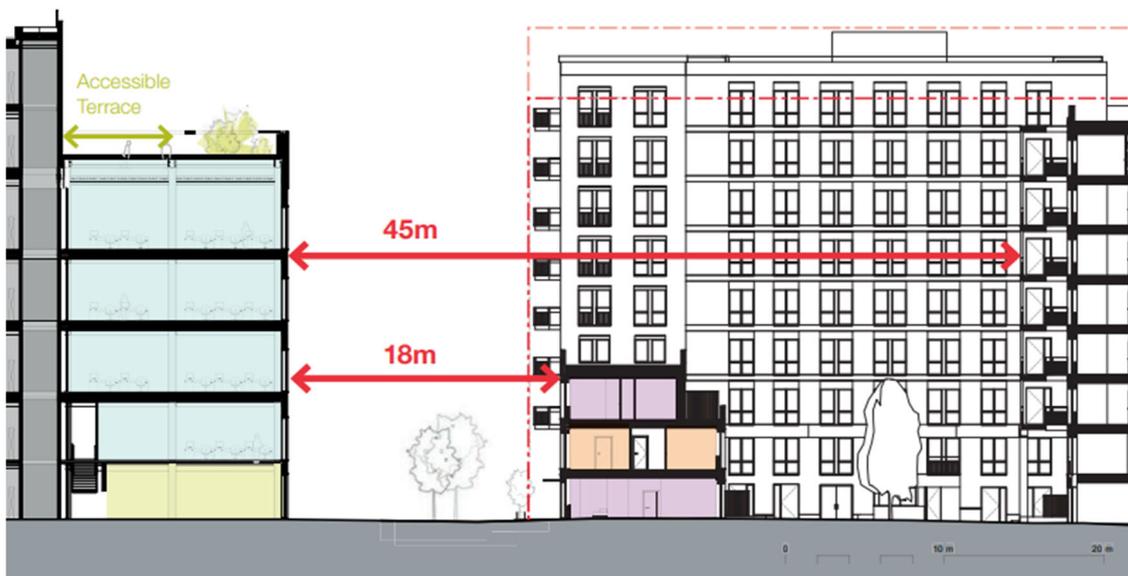
### **Outlook and privacy**

211. In order to prevent harmful overlooking, the 2015 Technical Update to the Residential Design Standards SPD 2011 requires developments to achieve:
- A distance of 12 metres between windows on a highway-fronting elevation and those opposite at existing buildings, and;
  - A distance of 21 metres between windows on a rear elevation and those opposite at existing buildings
212. The existing and planned neighbouring developments to this site comprise:-
- Hawker House to the southwest separated by a new road (Printworks Street). The distance to be retained would be minimum 10m but it is noted that the commercial uses in this building are meanwhile uses and there is a resolution to grant planning permission on this site for a commercial redevelopment (21/AP/2655). If that permission is implemented there would be a distance of 16m between the two commercial facades;
  - The Scape student housing scheme to the northwest separated by Printworks Street with a distance of 16m-20m between the facades
  - Plot F of the BL development which comprises a mixed commercial and residential development separated by a pedestrianised public space known as Printworks Place. A distance of 22m – 37m would be retained between the two facades

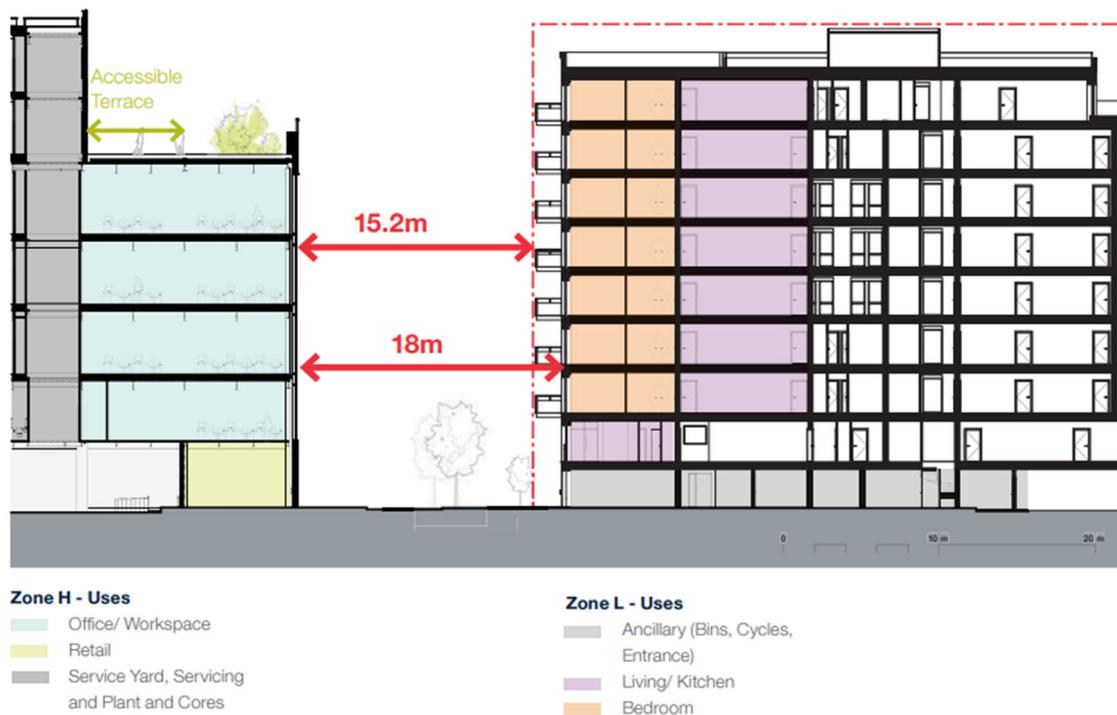
- The planned public park to the east and;
- Plot L of the BL development which comprises a residential block to the north separated by a road known as Reel Street. A distance of minimum 15.2m would be retained between the two facing facades.

213. The distances that will be retained are sufficient to prevent any unacceptable level of harm arising by way of loss of outlook or privacy and would comply with the standards set out in the SPD.

214. It is recognised that the separation across Reel Street whilst meeting the Councils minimum standards is the most sensitive relationship due to the scale of Building H2 relative to the scale of the proposed townhouses in Zone L and the fact that the north elevation of Building H2 is proposed to be largely glazed. This would potentially allow for a high level of overlooking onto the residential dwellings located directly opposite with the potential to affect the privacy to habitable room windows and balconies. In order to address this and significantly reduce overlooking, the north elevation will be fitted with a 'fritted' form of glazing. The detailed design of the fritted glazing system will be controlled by way of conditions already attached to the OPP. A further condition is recommended to ensure that the fritted glazing is installed prior to occupation of the building and retained in perpetuity.



**Image:** to show relationship of Plot H2 to proposed houses on Plot L opposite



**Image:** to show relationship of Plot H2 to proposed flats on Plot L opposite

215. Given the relationship between the accessible terrace proposed within Plot H2 and the opposite dwellings it would be appropriate to restrict use of this terrace to (08:00 – 22:00 on any day). A condition to this effect is recommended to be added to this RMA.

## Daylight

216. The NPPF sets out guidance with regards to daylight/sunlight impact and states “when considering applications for housing, authorities should take a flexible approach in applying policies or guidance relating to daylight and sunlight, where they would otherwise inhibit making efficient use of a site”. The intention of this guidance is to ensure that a proportionate approach is taken to applying the BRE guidance in urban areas. London Plan Policy D6 sets out the policy position with regards to this matter and states “the design of development should provide sufficient daylight and sunlight to new and surrounding houses that is appropriate for its context”. Policy D9 (Tall Buildings) states that daylight and sunlight conditions around the building(s) and neighbourhood must be carefully considered. Southwark Plan Policies identify the need to properly consider the impact of daylight/sunlight without being prescriptive about standards.
217. The Building Research Establishment guidance sets out the rationale for testing the daylight impacts of new development through various tests. The first is the Vertical Sky Component test (VSC), which is the most readily adopted. This test considers the potential for daylight by calculating the angle of vertical sky at the centre of each of the windows serving the buildings which look towards the site. The target figure for VSC recommended by the BRE is 27% which is considered to be a good level of daylight and the level recommended for habitable rooms with windows on principal elevations. The VSC, however, is a general measure of potential for daylight in a space that does

not take into consideration the function of the space being assessed and should be carried out at early design when rooms' layout is not yet determined and the optimum position of windows is being assessed.

218. The most effective way to assess quality and quantity of daylight within a living area is by calculating the Average Daylight Factor (ADF), this is the most appropriate methods for new dwellings where the layout and window positions are known. The ADF, which measures the overall amount of daylight in a space, is the ratio of the average illuminance on the working plane (table height) in a room to the illuminance on an unobstructed horizontal surface outdoors, expressed as a percentage. The ADF takes into account the VSC value, i.e. the amount of daylight received on windows, the size and number of windows, the diffuse visible transmittance of the glazing used, the maintenance factor and the reflectance of the room surfaces. Therefore, it is considered as a more detailed and representative measure of the daylight levels within a living area, but only appropriate when good information about the affected rooms is available.
219. The third method is the No Sky Line (NSL) or Daylight Distribution (DD) method which is a measure to assess the distribution of daylight in a space and the percentage of area that lays beyond the no-sky line (i.e. the area that receives no direct skylight). This is important as it indicates how good the distribution of daylight is in a room. If more than 20% of the working plane lies beyond the no-sky line poor daylight levels are expected within the space.
220. As part of each RMA application, it is necessary to assess the impact of daylight/sunlight for occupiers of the proposed buildings. This assessment could not be made at OPP stage due to the flexibility of land uses proposed for each plot and because all matters were reserved. However, as this application relates to a commercial development only it is not necessary to carry out an technical assessment of the daylight levels that will be achieved within the building. It is clear from the plans submitted that all of the commercial spaces will benefit from good levels of natural light with access to windows.
221. In terms of the impact upon neighbouring buildings the OPP included a full assessment of daylight, sunlight and overshadowing impact based on a maximum 3D envelope for each plot as created by the limitations of the parameter plans. By assessing the maximum parameters this represented a worst-case scenario in terms of impact that would either remain the same or improve as each building was developed in detail.
222. The impact on neighbours in this respect was deemed to be acceptable at the time of granting the OPP. This included an assessment of the impact upon the adjacent Scape student housing scheme and in respect of the relationship between this plot and adjacent BL plots (Zone F and L). Given the assessment undertaken at outline stage it would not be reasonable to reassess that impact as part of the RMA unless there has been a significant change in baseline conditions or a significant change to the worst case scenario tested at outline stage.
223. The minor amendments to the height and footprint of the development are not considered to be a significant change to the worst case scenario tested at outline stage

as confirmed by the technical specialist responsible for preparing the ES Statement of Conformity (discussed above).

224. There has been a change in respect of the adjacent development site known as Hawker House. The OPP tested the impact on the extant permission for residential led redevelopment of that site. It has recently become known that the extant permission is unlikely to be implemented and there is a resolution to grant a new planning permission for commercial redevelopment of that site (21/AP/2655). However, the application submitted under reference 21/AP/2655 fully considered the impact of the approved Canada Water Masterplan development maximum parameters and the relationship was deemed to be acceptable. There is no requirement for this RMA to address this change in circumstances given the 100% commercial nature of the new proposal.

### Overshadowing of amenity spaces

225. As with the above daylight analysis the OPP assessed sunlight impacts arising from the Masterplan development on the basis of the maximum 3D envelope. This analysis included the potential impact on the new park. It is not necessary or appropriate to revisit that analysis as part of this RMA.

### Noise and vibration

226. London Plan Policy D14 and Southwark Plan Policy P56 require developments to manage the impacts of noise. Noise impact arising from the redevelopment as a whole was assessed in the ES submitted with the OPP and appropriate conditions were attached to prevent any harm arising in terms of plant, equipment and soundproofing. Now that a specific range of uses have been identified for this plot, additional conditions are recommended for this RMA to restrict operating hours for the commercial units, servicing hours and use of the terraces. These additional conditions are necessary to protect the amenity of existing and future residents.
227. The council's environmental protection team have reviewed the application and have not raised an objection subject to the recommended conditions.

### Agent of change principles (ability for commercial and residential uses to co-exist)

228. London Plan Policy D13 requires all developments to consider 'agent of change' principles to ensure that where new developments are proposed close to existing noise-generating uses, they are designed in a more sensitive way to protect the new occupiers, such as residents and businesses from noise and other impacts. There are no residential uses proposed as part of this application. However, there are existing and planned residential uses within the immediate vicinity of the site.
229. The potential impacts arising from the whole scale mixed use redevelopment of the town centre were duly considered and deemed to be acceptable at the time of granting OPP. Several mitigation measures have been incorporated into the conditions attached to the OPP to ensure that a variety of uses can exist side by side without giving rise to unacceptable impacts.

230. To conclude, it is considered that the OPP and this RMA has been designed to ensure that the technical considerations such as adequate servicing, ventilation, mitigation of noise and vibration have been robustly considered and secured so that the development is attractive and usable by the intended future occupiers in accordance with Policy D13.

## **Transport and highways**

231. The OPP was subject to robust scrutiny of the transport impacts that may arise from the wholesale redevelopment of the Masterplan site. The OPP secured a range of mitigation measures including substantial contributions to improve public transport infrastructure, including improvements to Canada Water and Surrey Quays station, and improvements to the operation of the highway network. This current application was accompanied by a Framework Travel Plan and Framework Service and Delivery Plan specific to the proposed uses for this plot.

## **Site layout**

232. The proposal has been designed to accommodate vehicle movements associated with servicing and deliveries, car parking for mobility impaired motorists, and access for emergency vehicles. Vehicular access to the Printworks site from the surrounding roads includes Quebec Way, Canada Street (cars and LGVs only), Printworks Street and Reel Street. This will direct vehicles to the servicing accesses at each building (H1 and H2) and which aim to minimise conflict between vehicles and pedestrians.
233. The proposed service arrangement for Buildings H1 and H2 accommodates all servicing requirements entirely 'within plot' and as approved as part of the OPP. There are independent servicing arrangements for H1 and H2. The location of the service bays has been designed to work within existing building structure, minimising demolition and structural adaptation of the existing building. The strategy accommodates TfL bus infrastructure on Printwork Street and leaves pedestrian and cycle routes via Printworks Walk and Reel Walk unencumbered.
234. As part of the OPP Printworks Street was approved as a one-way street because it was the only deliverable option within the constraints of the BL application site boundary. Following the OPP the detailed design of Printworks Street was approved as a reserved matters application (21/AP/3469). Delivery of a two way street would require a joint approach and land to be made available from all adjacent landowners (currently this would be British Land, AIRE and Scape). Notwithstanding the approval of a one way option, it has always been a strong desire of the Council and TfL to deliver a two way Printworks Street as this will have significant benefits for TfL bus operations as well as minimising the number of vehicles needing to enter via Quebec Way.
235. All landowners are currently engaged with the Council in respect of designing a coordinated two-way street. Those discussions are progressing positively and the detailed proposal for Plots H1 and H2 will be able to respond positively to either a one or two way option.

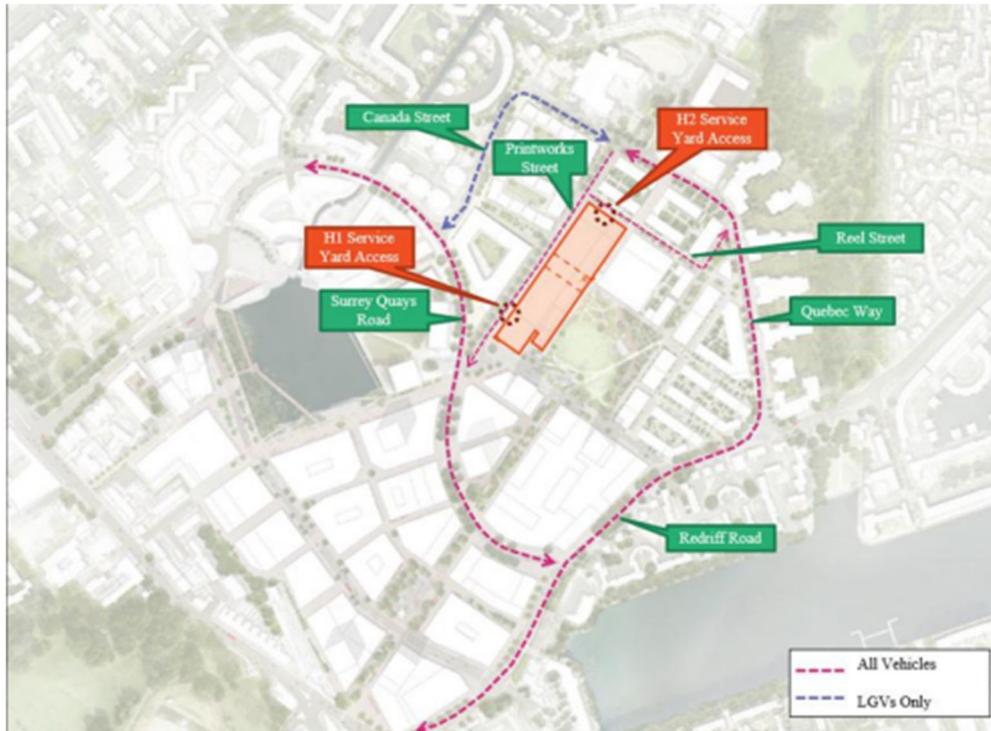
236. In order to improve permeability through the site, a public cycle and pedestrian only route is proposed at the base of the atrium, between the ground floor levels of Buildings H1 and H2. This will connect Printworks Street to the north and The Park to the south and will be named Printworks Walk. As part of the wider CWM, further public cycle and pedestrian only routes are proposed along Park Walk, Middle Cut, Town Square and The Park. The routes will link to key transport hubs such as Surrey Quays station and Canada Water station, as well as local bus stops. The Printworks application aims to remove current severance issues caused by the large and enclosed site, improving east to west as well as north to south permeability.
237. The site layout is supported from a transport perspective.

### **Trip generation**

238. Given the car-free nature of the proposals (apart from a limited number of Blue Badge parking spaces), the trips associated with the commercial uses will predominately be by sustainable travel modes including on public transport, by bicycle and on foot. The Transport Assessment estimates that the development would generate a total of 1,230 trips in the AM peak hour and 902 trips in the PM peak hour with the majority of trips being on public transport.
239. As part of the OPP significant contributions were secured towards improvements to public transport to mitigate the potential impact. Specifically;
- Surrey Quays Station contribution
  - Canada Water Station contribution
  - Bus contribution
  - Bus infrastructure improvements
  - Highways works
  - Signage and Legible London strategy
  - Cycle hire expansion and membership
240. The trip generation impact arising from this RMA accords with the assumptions made at OPP stage and has been addressed by the mitigation already secured in the s106 agreement.

### **Servicing and deliveries**

241. The OPP includes an approved site-wide Delivery and Servicing Management Plan, which forms Annex 19 to the Section 106 Agreement (to which this RMA will be bound). An updated Delivery and Service Management Plan (DSMP) for Plots H1 and H2 has been produced to accord with the framework and principles set out in the approved site-wide Delivery and Servicing Management Plan.
242. Both Building H1 and H2 will have separate off-street servicing areas for delivery and servicing activity, with each having three loading bays suitable to accommodate one 10m rigid heavy goods vehicle (HGV), one 8m medium goods vehicle (MGV) and one 6m light goods vehicle (LGV). Service yard access associated with deliveries/servicing trips for Building H1 is proposed to be from Printworks Street, while access to the service yard in Building H2 is proposed to be from Reel Street.



**Image:** vehicular access routes

243. Maximum daily deliveries are estimated at 105 vehicles per day (14 during the peak hour), using a booking delivery system and minimising movements during the morning and evening peak. Personal deliveries at work will be restricted through tenancy agreements. The applicant originally applied for a 12 hour servicing period 7 days per week. However, due to the relationship of this site to residential neighbours in close proximity this is not acceptable. Servicing should be restricted to 07:00 to 21:00 on Mondays to Saturdays and 09:00 to 18:00hrs on Sundays & Bank Holidays (with an additional exclusion of 08:00 – 09:00 and 17:00 – 18:00 to minimise peak hour traffic). The restricted times will be controlled via conditions attached to this RMA.
244. Southwark Highway Authority has recently adopted a school street closure programme for Alfred Salter School which would result in Quebec Way (and therefore Printworks Street) being closed to vehicular traffic between the hours of 08:30 – 09:15 and 15:00 – 15:45 (Monday to Friday). This restriction sits outside of the remit of the planning system and would be an additional restriction to any limitations imposed by way of the recommended planning conditions. However, the applicant has been made aware of the restrictions and has confirmed that the development could still be adequately serviced with such restrictions in place.
245. Schedule 16, Part 2 of the s106 agreement secured as part of the OPP (to which this RMA will be bound) requires submission of a DSMP prior to occupation of the development (by which times exact occupiers will be known). As such, the final DSMP for this building will be subject to future approval but it will be required to confirm no more than 105 vehicles per day and will be required to adhere to the aforementioned servicing hours.

## **Refuse and waste management**

246. Refuse storage and collection will be managed within each of the buildings. There is already a condition to control this attached to the OPP.

## **Car parking**

247. The development is proposed to be 'car free' with the exception of 4 accessible car parking spaces to be provided within Printworks Street. This provision is in line with the OPP.

## **Cycle parking and cycling facilities**

248. London Plan Policy T5 sets minimum cycle parking standards for different uses. Southwark Plan Policy P53 sets out a higher requirement than the London Plan standards. The relevant standards to be achieved for this development are the London Plan Standards as this was the most up to date requirement at the time of granting the OPP. For this development a total of 606 long stay and 11 short stay spaces are required, of which 30 spaces will be sized for accessible/nonstandard spaces. Separate facilities will be provided within each building (as shown in the image below). The facilities will include secure storage, lockers and showers and will be accessed via a combination of ramps, cycle lifts or stairs with gulleys. The detailed design and location of the cycle parking facilities will be developed as part of Conditions already attached to the OPP, but in principle the provision is high quality and gives appropriate emphasis to cycling as a means of travel to work.



**Image:** to show pedestrian and cycle access into each building.

249. The s106 for the OPP includes an obligation for 8 new cycle hire docking stations to be provided within the town centre.
250. The development would also benefit from Legible London signs and existing sign map refresh, as secured in the s106 agreement.

### Healthy streets

251. London Plan Policy T2 requires development proposals to demonstrate how they will deliver improvements that support the ten Healthy Streets Indicators in line with Transport for London guidance. The masterplan development provides the opportunity to greatly improve the pedestrian and cycling environment, moving away from the current car-based and car parking dominated layout of the town centre. In particular, the vehicle and walking routes proposed across the masterplan site are arranged in accordance with the following hierarchy:

- The primary routes are Lower Road (and the gyratory) and Redriff Road and these will carry the majority of traffic accessing the masterplan development as well as through traffic from the wider area;
- As a secondary route, Surrey Quays Road will carry the majority of traffic associated with the development and local bus services. The realigned Deal Porters Way (to be known as the High Street) is also classified as a secondary route and will also provide a bus route through the centre of the masterplan

development;

- The remaining tertiary routes will carry lower volumes of traffic and will provide a local access and servicing function; and
- A comprehensive network of pedestrian and cycle routes will be provided that will enable the masterplan development to promote the Healthy Streets philosophy by providing high quality car free alternative walking and cycling routes.
- An indicative bus infrastructure plan has been agreed with TfL and the Council for the CWM area. The plan contains:
  - up to three new bus stops, proposed to be provided along, Quebec Way, Surrey Quays Road and Deal Porters Way;
  - the retention of existing bus stops along the A200 Lower Road, Surrey Quays Road and Redriff Road;
  - the relocation of existing bus stops along Surrey Quays Road and Deal Porters Way; and
  - one proposed bus stand along Printworks Street and a bus driver facility located in the Printworks Building within 200m of bus stands.
- In addition, in accordance with Schedule 19 of the CWM S106 Agreement, land will be safeguarded across the masterplan for the provision of cycle hire docking stations for the TfL Cycle Hire scheme.

252. This application is car free save for 4 disabled space thus promoting walking, cycling and use of public transport. Contributions have been secured under the OPP for sustainable transport modes to accommodate the demand created by future occupiers of the site. The scheme has been designed to enhance public realm around the site. The scheme has been designed to minimise air and noise pollution as much as possible.

253. The OPP includes an approved Framework Site-Wide Travel Plan, which forms Annex 20 to the Section 106 Agreement. This sets the principles for the site as a whole and provides the governing framework within which Travel Plans for individual plots, or groups of plots, will be prepared. In accordance with Annex 1 of the OPP, a Travel Plan is required to accompany the submission of Reserved Matters applications. Consequently, a plot specific travel plan has been submitted. The plan sets out the measures that will be taken to maximum sustainable modes of transport for staff and visitors.

### **Transport summary**

254. Overall the transport and traffic related implications have been fully considered. The Council's Highways and Transport Teams are satisfied with the proposal. The scheme minimises vehicle movements by prioritising use of public transport, walking and cycling, and by encouraging consolidation of deliveries. As such it conforms with the policies promoting sustainable travel and is consistent with the OPP. A range of improvements to public transport infrastructure, and to local streets, are important and necessary to mitigate the impacts of this large scale development. The necessary mitigation has already been secured as part of the OPP.

## **Environmental matters**

### **Construction management**

255. Demolition of parts of the existing building has already commenced. Construction associated with this RMA is anticipated to commence in May 2023, with completion in May 2025.
256. The construction related impacts of this development were considered as part of the ES submitted with the OPP. Schedule 23 of the s106 agreement (to which this RMA will be bound) secures the provision of detailed CEMPs for each development plot.
257. Subject to submission of a detailed CEMP being submitted at the appropriate time it is not anticipated that an unacceptable long terms impacts will arise as a result of the necessary construction process. The decision to retain parts of the existing building (rather than the option of wholesale demolition and redevelopment) will reduce the construction impacts including the number of vehicle trips.

### **Water resources, flood risk and SUDs**

258. Policy SI 12 of the London Plan 2021 states that development proposals should ensure that flood risk is minimised and mitigated and natural flood management methods should be employed in development proposals due to their multiple benefits including flood storage and creating recreational areas and habitat. Policy SI 13, Sustainable drainage reinforces this and states that development proposals should ensure that surface water run-off is managed as close to its source as possible. Drainage should be designed and implemented in ways that promote multiple benefits including increased water use efficiency, improved water quality and enhanced biodiversity, urban greening, amenity and recreation.
259. Policy P68, Reducing flood risk, of the Southwark Plan 2022 states that development must not increase flood risk on or off site and champions the use of water sensitive urban design and Sustainable Urban Drainage Systems (SUDs). The rate of surface run-off (and so the related flood risk) can be significantly reduced through the careful design of developments and the inclusion of Sustainable Urban Drainage Systems (SUDs). This policy and the use of SUDs is also reflected in current Southwark policies.
260. The application site is located within Flood Zone 3, with a high risk of tidal flooding but benefitting from the Thames Tidal defences and therefore a Flood Risk Assessment was submitted as part of the OPP detailing how the site wide Masterplan development has been designed to address flood risk and SUDs proposals. The Approved Flood Risk Assessment (FRA) for the Canada Water Masterplan (dated April 2018 and contained within Appendix 12.1 of the Canada Water Masterplan ES) noted (within a comment on the drawing included in Appendix M) that the Former Harmsworth Quays Printworks within Development Zone H may be retained and would therefore not include attenuation. It also included an attenuation scenario (as a worst case for the

purposes of planning) should the Former Harmsworth Quays Printworks be demolished and redeveloped.

261. As the proposals for Plot H1 and H2 remove much of the existing structure (other than the structural frame), it is proposed to restrict surface water runoff and provide attenuation and SuDS in line with the principles set out in the FRA submitted with the OPP. There is a condition attached to the OPP requiring a detailed SUD Strategy to be submitted for each Building/Plot prior to commencement of development.

262. The scheme is targeting the use of the following water reduction measures:-

- Selection of low flow and flush sanitary fittings.
- Greywater harvesting system from all wash hand basins and showers to flush all the WCs.
- Water main shall be provided with utility meters incorporating pulsed Building Management System output, and leak detection system enable to detect non-typical water usage.
- Each tenancy, both office and retail, and all individual use types will be separately metered to identify high users.
- Water storage provision is based on 20 l/person/day and a diversified occupancy of 0.7. This is a reduction against industry standard storage provision.

## **Land contamination**

263. A desk top ground investigation assessment report was submitted at OPP stage and appropriate conditions requiring further intrusive surveys, remediation and verification were attached to the OPP.

## **Air quality**

264. A key priority for the London Plan is to tackle poor air quality (Policy GG3 and SI 1). This is reinforced in Southwark Plan Policy P65 which seeks to ensure that developments achieve or exceed air quality neutral standards; and address the impacts of poor air quality on building occupiers and public realm users by reducing exposure to and mitigating the effects of poor air quality.

265. At OPP stage air quality was addressed within the ES. The OPP s106 agreement to which this RMA will be bound secures necessary mitigation measures during demolition and construction works. The operation of the proposed development is not predicted to result in any significant effects on air quality and the air quality for future users of the development would also be acceptable.

266. The council's environmental protection team has reviewed the submission and advised that there is no objection to the proposal.

## Energy and sustainability

267. Chapter 9 of the London Plan deals with all aspects of sustainable infrastructure and identifies the reduction of carbon emissions as a key priority. Policy SI2 requires all developments to be net zero carbon with a minimum onsite reduction of 35% for both commercial and residential. Non-residential development should achieve 15 per cent reduction through energy efficiency measures. Where developments are unable to meet net zero carbon targets any shortfall between the minimum 35% and zero carbon must be mitigated by way of a payment towards the carbon offset fund. The energy strategy for new developments must follow the London Plan Hierarchy (be lean/ be clean/ be green/be seen) and this must be demonstrated through the submission of an Energy Strategy with applications and post construction monitoring for a period of 5 years.
268. Southwark Plan Policies P69 and P70 reflect the approach of the London Plan by seeking to ensure that non-residential developments achieve a BREEAM rating of 'Excellent' and include measures to reduce the effects of overheating using the cooling hierarchy. The policies reflect the London Plan approach of 'lean, green and clean' principles and requires non-residential buildings to be zero carbon with an onsite reduction of at least 40%. Any shortfall can be addressed by way a contribution towards the carbon offset fund.
269. A site wide approach to energy and carbon emission reductions was approved as part of the OPP. Schedule 18 of the s106 agreement (to which this RMA will be bound) sets out the necessary obligations for each RMA. The following obligations have been secured:-
- Submission of an Energy Review to identify the most appropriate energy solution for the Development including an evaluation of the opportunity to connect to a District Heat Network (DHN) or External Heat Network (EHN) - to be submitted upon implementation of a plot that would create more than 100,000 GEA of floor space or each whole multiple of 100,000 sqm
  - Each RMA to include an Energy and Sustainability Plan which must address up-to-date development plan policies, demonstrate how policy targets will be met, be consistent with the approved site wide strategy and demonstrate future proofing for a DHN or EHN
  - Necessary carbon offset contributions for each RMA must be calculated according to calculations in place at the time of determination of the RMA and are payable upon implementation of that RMA
  - 5-year monitoring reports to be submitted post construction
270. This application has been accompanied by an Energy and Sustainability Plan as well as Whole Life Carbon Assessment and Circular Economy Statement to address current policy requirements (discussed further below).

271. The decision to retain the existing structure has led to significant savings in embodied carbon and the new Mechanical, Electrical and Plumbing (MEP) systems are designed to minimise operational carbon. The building is targeting BREEAM Outstanding and WELL Gold, and will be assessed under the NABERS rating scheme for operational energy performance.

### **Whole life cycle and carbon capture**

272. A Whole Life Carbon Assessment was submitted. The assessment analyses both the embodied carbon of materials and the operational carbon due to the energy and water use. This proposal seeks to minimise demolition of the existing building to reduce the total embodied carbon of the development by re-using as much of the structure and foundations as possible. Conversion of the existing building has a significant positive benefit in terms of carbon reduction. The assessment further explores the operational impact on carbon and identifies way to reduce operational impact. This assessment has fed into the detailed energy strategy for this plot.

### **Carbon emission reduction**

273. This application includes an Energy Strategy which suggests that the scheme would achieve a carbon saving of 53% on site. The shortfall between 40% and zero carbon will be met by way of a carbon offset payment which would accord with current adopted policies and the OPP. To this end a payment of £704,235 (247.1 tonnes x 30 x £95 – waiting for some clarification from the applicant team) would be payable.

### **Be lean (use less energy)**

274. The proposed development will incorporate the following passive design features:
- The use of a low energy HVAC (Heating, Ventilation and Air Conditioning) system is an essential part of the sustainability strategy at Printworks
  - Careful consideration has been made within the design of all façades to balance glazing ratios to limit solar gains while maximising daylighting and views out. The Spine Building façade is south-west facing, and is therefore the most difficult to address in terms of solar gain. The glazing ratio to this facade has been set to keep the solar gain within the 40W/m<sup>2</sup> limit.
  - Solar gains are limited through optimisation of glazing sizes and implementation of high-performance glazing, with a g-value of 0.28.
  - Façade performance criteria has been developed to reduce heating and cooling loads, through low U values and high air tightness
  - Cooling to the office is efficiently delivered through the underfloor ventilation systems and through passive chilled beams.
  - Return air is collected from the top of the central Press Hall, reducing the energy required to extract air from the office spaces.
  - Natural ventilation openings allow for air to be exhausted naturally when it's not required for heat recovery.
  - High efficiency heat recovery is used, with sorption wheel used on offices AHUs to better maintain humidity levels in the space without the need for active

humidification.

- Demand control ventilation by CO2 sensors, ensuring spaces are not over-supplied with fresh air.
- High efficiency lighting used throughout.

275. The implementation of these measures would reduce regulated CO2 emissions by 16%. This would meet London Plan targets for energy reduction.

### Be clean (supply energy efficiently)

276. The possibility of employing a decentralised energy network was investigated at OPP stage and again at the point of preparation of this RMA. Currently there is no district heating network available. However, a plan is under development and a new network might become available in the coming years. The development has been designed to allow future connection to a district heating network should one become available. A location for an intake room has been identified on the ground floor, which provides direct access from outside and has a clear route for below-ground pipework to enter the building. The location is within H1, adjacent to Printworks Walk. Pipework can be routed from this location to the main heating and cooling plant on the roof, via the adjacent core. Ongoing review of the possibility to connect is secured in Schedule 24 of the s106 agreement.

### Be green (use low or carbon zero energy)

277. It is intended to develop the detailed design to include:

- The use of 4-pipe simultaneous heat pumps to recover heat from the cooling system for use in the heating system
- The use of water-to-water heat pumps for the generation of domestic hot water (DHW)
- The installation of 154 PV panels, producing 43,100kWh per year of clean energy. In the design it is assumed that panels will have a 10° tilt and be orientated to face south-west to align with the building and optimise the use of the available space.
- A combined green roof/solar PV installation is proposed to maximise the urban greening factor and PV contribution.

278. The total cooling, heating and hot water demand of the building will be provided using air and water source heat pumps.

279. The implementation of these measures would reduce regulated CO2 emissions by 37%.

### Be seen (monitor and review)

280. The London Plan asks developers to monitor energy use during the occupation and to incorporate monitoring equipment to enable occupants to monitor and reduce their energy use. 5 years post completion monitoring has been secured in the OPP s106 agreement to which this RMA will be bound.

## **Circular economy**

281. A Circular Economy is defined as one where materials are retained in use at their highest value for as long as possible and are then reused or recycled, leaving a minimum of residual waste. London Plan Policy SI7 seeks to promote resource conservation, waste reduction, increases in material re-use and recycling, and reductions in waste going for disposal through the requirement of new development to submit a circular economy statement. Such statements must demonstrate how all materials arising from demolition and remediation works will be re-used and/or recycled; how the proposal's design and construction will reduce material demands and enable building materials, components and products to be disassembled and re-used at the end of their useful life; opportunities for managing as much waste as possible on site; adequate and easily accessible storage space and collection systems to support recycling and re-use; specify how much waste the proposal is expected to generate, and how and where the waste will be managed in accordance with the waste hierarchy. The statement must also identify how performance will be monitored and reported.

282. A Circular Economy Statement has been submitted in line with the GLA's requirements. The statement proposes the following measures:-

- By converting the existing building it is proposed to target 90% diversion from landfill at demolition stage and 80% diversion from landfill at construction stag
- On-site reuse and recycling of existing materials where feasible
- Off-site reuse and recycling of existing materials wherever possible (minimum of 95%) to avoid materials going to landfill
- The potential theoretical recovery rate of materials identified in the pre-refurbishment audit is 98% based on assumed best practice standards of demolition and strip out. The challenge will be to ensure that best practice standards are upheld in order to meet this high recovery rate.
- In order to specify and source materials responsibly and sustainably a sustainable procurement plan has been produced to guide the material selection.
- Sustainably sourced materials with high recycled content and reuse potential will be specified wherever practicable, and Environmental Product Declarations will be sought as often as possible.
- Wherever possible, the existing building will be reused with demolition and alteration taking place only where required in order for the building to function effectively as office/retail space.
- A long life, loose fit, low energy approach has been followed in the design of the building.
- Soft-spots have been indicated within the new extension to allow for future vertical connection.
- Minimising load-bearing or stability walls to the cores will allow future changes in core facilities and risers.
- A non-loadbearing party wall between H1 and H2 has been proposed to allow for a future connection or single floor plate across both plots.

- The repetitive windows to the long elevations allow for the uses and spaces inside the building to adapt over time without compromising the appearance of the building.
- The principal contractor will be required to monitor construction site impacts and complying with BREEAM and project targets set during the design stage.

283. The proposed commitments to minimise the quantities of materials and other resources (energy, land, water) used, and measures for sourcing materials responsibly and sustainably are considered to be acceptable in principle. Compliance with the CES should be secured by condition.

### **Cooling and overheating**

284. London Plan SI4 requires major development proposals to demonstrate through an energy strategy how they will reduce the potential for internal overheating and reliance on air conditioning systems in accordance with the London Plan cooling hierarchy. The Energy Strategy submitted with this application sets out that mechanical ventilation would be provided through a low pressure underfloor open space, providing fresh air and cooling to the space. Air is either passively exhausted or mechanically extracted from the top of the Press Hall and passive chilled beams would provide additional cooling. Cooling will be generated by simultaneous heat pumps. Heat is extracted from the cooling system and transferred to the heating system, thereby generating heating and cooling simultaneously at very high efficiencies.

285. An overheating assessment has been completed to ensure that heat gains are minimised within the building (as set out above in relation to façade design), and to ensure that adequate means of maintaining comfort conditions are provided.. The results of the assessment show that three spaces exceed the basic comfort thresholds, however, the spaces are within the allowable limits. Each of these spaces are perimeter zones in the office area on level 6, which does not benefit from shading from adjacent buildings, so experience higher operative temperatures due to low angle solar gain in the late afternoon.

### **BREEAM**

286. Southwark Plan Policies P69 requires the development to achieve BREEAM 'excellent'. A BREEAM Pre-assessment report has been undertaken which confirms that the development is on target to achieve a BREEAM Outstanding rating for the office spaces and a BREEAM Excellent rating for the retail spaces. A condition has already been attached to the OPP to secure compliance with BREEAM standards.

### **Digital connectivity**

287. London Plan Policy SI6 introduces the need for new developments to address London's requirements for enhanced digital connectivity. The policy requires development proposals to ensure that sufficient ducting space for full fibre connectivity infrastructure is provided to all end users, to meet expected demand for mobile connectivity generated by the development, to take appropriate measures to avoid reducing mobile connectivity in surrounding areas; and to support the effective use of

rooftops and the public realm (such as street furniture and bins) to accommodate well-designed and suitably located mobile digital infrastructure.

288. In order to address this policy requirement Schedule 22 of the OPP s106 agreement includes an obligation to ensure that each building has access to full fibre connection.
289. In terms of impact on existing infrastructure in the area, this was also addressed as part of Schedule 22 of the s106 agreement.

## Summary

290. In conclusion, the documents submitted with this RMA reflect the principles established by the OPP and meet the requirements of the s106 agreement and current development plan policies in respect of climate change. It is necessary to add additional conditions to this RMA to secure compliance with documents that have been submitted to address current development plan policies for climate change such as CES and WLC Assessments.

## Planning obligations (S.106 agreement)

291. London Plan Policy Df1 and Southwark Plan Policy IP3 advise that planning obligations can be secured to overcome the negative impacts of a generally acceptable proposal.
292. This application is bound by the s106 obligations secured in the legal agreement attached to 18/AP/1604. For this particular RMA there is no requirement for additional mitigation beyond that secured at Outline stage.

## Mayoral and borough community infrastructure levy (CIL)

293. Section 143 of the Localism Act states that any financial contribution received as community infrastructure levy (CIL) is a material 'local financial consideration' in planning decisions. The requirement for payment of the Mayoral or Southwark CIL is therefore a material consideration. However, the weight attached is determined by the decision maker. The Mayoral CIL is required to contribute towards strategic transport invests in London as a whole, primarily Crossrail. Southwark's CIL will provide for infrastructure that supports growth in Southwark.
294. Estimated CIL calculations to be provided in the Addendum

## Other matters

295. None.

## Community involvement and engagement

296. The application was accompanied by a Statement of Community Involvement and Engagement Summary from the Development Consultation Charter. The documents confirm that the following engagement was undertaken by the applicant prior to the submission of the application:

- Pre-application meetings between January and June 2021 with Southwark Council Officers
- Ongoing engagement with Ward Councillors
- Local business meetings (7th and 9th June)
- Meeting with occupier of the site on various occasions
- Design Review Panel (15th June)
- Dedicated RMA webinar to introduce the proposals for Zone H and to explain the RMA process (25th May) – 85 local residents in attendance
- Virtual public exhibition (14th June – 5th July) – 284 unique users to the site, 2947 views of the display materials, 10 feedback forms submitted)
- An insert publishing the virtual exhibition included with a newsletter sent to 14,336 people in the area
- 2,500 e-newsletters distributed to the local community
- 4 posters were displayed in locations in the local area

297. The Statement of Community Involvement includes a summary of feedback from the virtual public exhibition. A total of 10 online feedback forms were completed. 9 of the 10 respondents chose to leave general comments which centred on three key themes, access and parking, design and proposed uses. 3 respondents commented on the value of Printworks to the area and that they would like to see another cultural venue established on the site. The feedback from the virtual public exhibition is not reflective of the public objections submitted formally with the application as set out and discussed earlier in this committee report.

298. Due to Covid-19 restrictions and national guidance around face-to-face meetings, the engagement programme was largely digital, however it is considered that the range of methods utilised to publicise the virtual engagement was sufficient. It is ultimately the responsibility of the applicant to decide how to manage public meetings in response to Covid-19 restrictions and national guidance.

299. As part of its statutory requirements, the Local Planning Authority sent letters to local residents, issued a press notice publicising the planning application, put up site notices and advertised the application on the website. Adequate efforts have, therefore, been made to ensure the community has been given the opportunity to participate in the planning process. Full details of consultation undertaken by the Local Planning Authority are set out in Appendix 4. The responses received are summarised at the start of this report

### **Consultation responses from external and statutory consultees**

300. **London Fire Service:** Note that hydrants do not appear to be provided to meet the requirements of Approved Document B 16.9. Hydrants should be provided to meet these requirements or alternative supply of water should be provided if appropriate as detailed in Approved Document B.

**Officer Response:** The applicant has confirmed that fire hydrants exist in Quebec Way and Surrey Quays Road. Regarding the earlier fire hydrant query on Section 9 'Water Supplies' from LBF (attached). The provisions of hydrants serving Canada Water Plot H1/H2 will follow recommendations given in BS 9999:2017 (Note: these are

the same recommendations given in Approved Document B) as per LFB's consultation response. This is to be done through either evaluating existing hydrant provisions and/or the installation of new hydrants where necessary. The evidence of this exercise and ultimately demonstrating that the design has allowed for this provision will form part of the RIBA Stage 4 Fire Strategy submission to Building Control, in which the London Fire Brigade will be of receipt through the Statutory Consultation process.

301. **Transport for London:** No objection.
302. **GLA:** Do not wish to comment on the CW Reserved Matters Applications
303. **Civil Aviation Authority:** Do not wish to comment
304. **London City Airport:** This proposal has been assessed from an aerodrome safeguarding perspective. Accordingly, it was found not to conflict with London City Airport's current safeguarding criteria.
305. **London Borough of Lewisham:** The development is car free (except for disabled parking), and the site isn't adjacent to the Borough boundary. So, the proposed application would not have an impact on the Highway network within the London Borough of Lewisham.
306. However, the construction traffic associated with the reserved matters application, and the wider masterplan would be routed through the section of the A200 within the London Borough of Lewisham. This corridor already experiences significant numbers of construction vehicle movements associated with the Thames Tideway sites in Lewisham and Southwark.
307. So, the construction Logistics Plans for all phases of the Canada Water Masterplan should consider the cumulative impact of construction traffic on the A200 corridor. The Construction Plans should for each phase should include measures to minimise the cumulative impact, including: -
- All construction vehicles should be low emission vehicles,
  - Fleet operators should be members of FORS and CLOCS.
  - The use of the River Thames should be considered.
  - Freight consolidation sites should be used.
  - The London borough of Lewisham should be invited to participate any construction forums or liaison groups, to ensure a coordinated approach to cross boundary construction traffic management
308. **London Borough of Tower Hamlets:** No comment
309. **Environment Agency:** No objection to the planning application as submitted. Conditions attached to the Outline Permission should be applied.

**Officer comment:** This application will be bound by the conditions attached to the OPP.

310. **Natural England:** NO OBJECTION. Based on the plans submitted, Natural England considers that the proposed development will not have significant adverse impacts on statutorily protected nature conservation sites or landscapes.

311. **Historic England:** No objection

312. **Secure by Design:** Have been in contact with the developer to discuss the crime prevention and SBD requirements for this site. It is positive that the developer has engaged in this way.

The wider masterplan already has a condition for buildings to comply with SBD requirements so this portion of the masterplan will be captured by those conditions.

**Officer comment:** There is already a relevant condition attached to the OPP.

313. **Thames Water:** Foul water drainage conditions recommended.

**Officer comment:** there is already a relevant drainage condition attached to the OPP.

### **Community impact and equalities assessment**

314. The council must not act in a way which is incompatible with rights contained within the European Convention of Human Rights

315. The council has given due regard to the above needs and rights where relevant or engaged throughout the course of determining this application.

316. The Public Sector Equality Duty (PSED) contained in Section 149 (1) of the Equality Act 2010 imposes a duty on public authorities to have, in the exercise of their functions, due regard to three "needs" which are central to the aims of the Act:

1. The need to eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
2. The need to advance equality of opportunity between persons sharing a relevant protected characteristic and persons who do not share it. This involves having due regard to the need to:
  - Remove or minimise disadvantages suffered by persons who share a relevant protected characteristic that are connected to that characteristic
  - Take steps to meet the needs of persons who share a relevant protected characteristic that are different from the needs of persons who do not share it
  - Encourage persons who share a relevant protected characteristic to participate in public life or in any other activity in which participation by such persons is disproportionately low

3. The need to foster good relations between persons who share a relevant protected characteristic and those who do not share it. This involves having due regard, in particular, to the need to tackle prejudice and promote understanding.

317. The protected characteristics are: race, age, gender reassignment, pregnancy and maternity, disability, sexual orientation, religion or belief, sex, marriage and civil partnership. This application would deliver a significant amount of commercial development including a large quantum of affordable workspace thus presenting opportunities to enhance access to employment for all residents of the borough including those with protected characteristics.

318. There are very likely to be individuals from groups with protected characteristics who make use of the existing leisure use. However the use is not specific to any one group, and as stated the use has always existed on temporary basis. For those reasons the grant of permission is not considered to have an unacceptable equalities impact.

### **Human rights implications**

319. This planning application engages certain human rights under the Human Rights Act 2008 (the HRA). The HRA prohibits unlawful interference by public bodies with conventions rights. The term 'engage' simply means that human rights may be affected or relevant.

320. This application has the legitimate aim of delivering commercial development. The rights potentially engaged by this application, including the right to a fair trial and the right to respect for private and family life are not considered to be unlawfully interfered with by this proposal.

### **Positive and proactive statement**

321. The council has published its development plan on its website together with advice about how applications are considered and the information that needs to be submitted to ensure timely consideration of an application. Applicants are advised that planning law requires applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

322. The council provides a pre-application advice service that is available to all applicants in order to assist applicants in formulating proposals that are in accordance with the development plan, and this service was used by the applicant in this case.

### **323. Positive and proactive engagement: summary table**

Was the pre-application service used for this application?	YES
If the pre-application service was used for this application, was the advice given followed?	YES
Was the application validated promptly?	YES

If necessary/appropriate, did the case officer seek amendments to the scheme to improve its prospects of achieving approval?	YES
To help secure a timely decision, did the case officer submit their recommendation in advance of the agreed Planning Performance Agreement date?	NO

## CONCLUSION

324. In land use terms the proposal accords with the site allocation and, other relevant development plan policies and is consistent with the principles established by the OPP
325. The proposed quantum of floorspace and range of uses to be provided sits comfortably within the approved Development Specification for this plot.
326. The proposed development would deliver a significant amount of commercial floorspace creating the opportunity for circa 2,315 to 3,010 FTE jobs, which would make a positive contribution employment opportunities in the Borough.
327. Obligations secured as part of the OPP include provision of affordable retail and workspace within the masterplan development, which could be delivered within this phase.
328. The successful operation of the existing entertainment venue is acknowledged. A significant number of objections have been received regarding the loss of the nightclub use in particular. Whilst the existing use does make a positive contribution to the music scene for London this was always intended to be a meanwhile use pending redevelopment of this site. As a temporary use it is not protected by development plan policies. Furthermore, it would be unreasonable for a meanwhile use to prohibit the implementation of an extant planning permission.
329. In design terms the proposed conversion and extension of the former Printworks building accords with the principles established by the OPP. Retention of the existing building has necessitated a non-material amendment to the original approved parameter plans, which has been regularised by way of a s96a application.
330. Retention of the existing building structure is welcome for design and sustainability reasons. The proposed extensions are of an appropriate form and scale and the materials pallet chosen for cladding the facades will result in a robust, high quality building, which will make a positive contribution to the townscape and character of this part of the town centre.
331. The site layout, provision of public realm and detailed design for Printworks Walk through the building accords with the details approved in the OPP Design Codes. Subject to high quality execution, as secured by the conditions attached to the OPP; and the recommended enlivenment strategy condition the proposal will have a positive place making benefit on this part of the town centre.

332. Subject to conditions to control detailed operation and servicing hours and to secure the installation of the fritted glazed feature on the north façade of Plot H2, the proposal would not give rise to significant harm to neighbouring amenity by way of overlooking, loss of privacy, noise or disturbance. At OPP stage the impact on daylight/sunlight and overshadowing was deemed to be acceptable.
333. An EIA Statement of Conformity has been provided to demonstrate that the assumptions, conclusions and mitigation secured at outline stage are still fit for purpose and that this RMA would not give rise to new significant effects.
334. Subject to the necessary mitigation already secured as part of the OPP s106 obligation (to which this RMA will be bound) the proposal would not give rise to unacceptable transport impacts.
335. Subject to compliance with the detailed energy and sustainability strategies submitted and payment of the Carbon Green Fund, the development satisfactorily addresses climate change policies.
336. It is therefore recommended that planning permission be granted for this RMA, subject to the recommended additional conditions as set out in the draft recommendation at Appendix 1.

## BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
Southwark Local Development Framework and Development Plan Documents	Chief Executive's Department 160 Tooley Street London SE1 2QH	Planning enquiries telephone: 020 7525 5403 Planning enquiries email: planning.enquiries@southwark.gov.uk Case officer telephone: 0207 525 0254 Council website: www.southwark.gov.uk

## APPENDICES

No.	Title
Appendix 1	Recommendation (draft decision notice)
Appendix 2	Relevant planning policies
Appendix 3	Relevant planning history
Appendix 4	Consultation undertaken
Appendix 5	Consultation responses received
Appendix 6	DRP Report

## AUDIT TRAIL

<b>Lead Officer</b>	Stephen Platts, Director of Planning and Growth	
<b>Report Author</b>	Gemma Usher, Team Leader	
<b>Version</b>	Final	
<b>Dated</b>	29 June 2022	
<b>Key Decision</b>	No	
<b>CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER</b>		
<b>Officer Title</b>	<b>Comments sought</b>	<b>Comments included</b>
Strategic Director of Finance and Governance	No	No
Strategic Director of Environment and Leisure	No	No
Strategic Director of Housing and Modernisation	No	No
<b>Date final report sent to Constitutional Team</b>		29 June 2022

**Recommendation**

This document shows the case officer's recommended decision for the application referred to below.

This document is not a decision notice for this application.

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<b>Applicant</b>	c/o Agent CW BL Holdings Ltd.	<b>Reg. Number</b>	21/AP/3338
<b>Application Type</b>	Approval of Reserved Matters		
<b>Recommendation</b>	APPROVE reserved matters	<b>Case Number</b>	468-G

**Draft of Decision Notice**

**reserved matters is APPROVED for the following development:**

Details of all reserved matters (Access, Appearance, Landscaping, Layout and Scale) pursuant to hybrid planning permission ref. 18/AP/1604 dated 29th May 2020 for comprehensive mixed use development of the Canada Water Masterplan site. Reserved Matters approval sought for Development Plots H1 and H2 (Development Zone H of the Masterplan), comprising the partial demolition, vertical and horizontal extension and refurbishment of the former Harmsworth Quays Printworks building to provide 45,504 sqm (GEA) of commercial floorspace comprising workspace (Use Class B1) and flexible workspace/retail (A1-A4/B1) with disabled car parking, cycle parking, landscaping, public realm, plant and associated works.

This is as an application for subsequent consent accompanied by an environmental statement. Consequently the application is accompanied by a Statement of Conformity submitted pursuant to the Town and Country Planning (Environmental Impact Assessment) regulations 2017. This ES Statement of Conformity should be read in conjunction with the Canada Water Masterplan ES which can be viewed in full on the Councils website (18/AP/1604).

Zone H Of The Canada Water Masterplan, Land Forming The Southwestern Part Of

Printworks, Surrey Quays Road

**In accordance with application received on 21 September 2021 and Applicant's Drawing Nos.:**

Existing Plans

Proposed Plans

PROPOSED LEVEL 03 - PLOTS H1 & H2 CWH12-HKB-ZZZ-03-DR-AR-010113  
Proposed Level 03 Plot H1 REV P3 received 21/09/2021

PROPOSED GROUND LEVEL PLAN - PLOTS H1& H2 CWH12-HKB-ZZZ-00-DR-AR-010110  
Proposed Ground Level Plan REV P3 received 21/09/2021

PROPOSED LEVEL 01 PLAN - PLOTS H1& H2 CWH12-HKB-ZZZ-01-DR-AR-010111  
Proposed Level 01 Plot H1 REV P3 received 21/09/2021

PROPOSED LEVEL 04 PLAN - PLOTS H1& H2 CWH12-HKB-ZZZ-04-DR-AR-010114  
Proposed Level 04 Plot H1 \_ H2 REV P3 received 21/09/2021

PROPOSED LEVEL 05 PLAN - PLOTS H1 & H2 CWH12-HKB-ZZZ-05-DR-AR-010115  
Proposed Level 05 Plot H1 \_ H2 REV P3 received 21/09/2021

PROPOSED LEVEL 06 PLAN - PLOTS H1& H2 CWH12-HKB-ZZZ-06-DR-AR-010116  
Proposed Level 06 Plot H1 \_ H2 REV P3 received 21/09/2021

PROPOSED LEVEL 07 PLAN - PLOTS H1& H2 CWH12-HKB-ZZZ-07-DR-AR-010117  
Proposed Level 07 Plot H1 \_ H2 REV P3 received 21/09/2021

PROPOSED ROOF PLAN - PLOTS H1 & H2 CWH12-HKB-ZZZ-08-DR-AR-010118  
REV P3 received 21/09/2011

PROPOSED GROUND LEVEL SITE LOCATION PLAN - PLOTS H1& H2 CWH12-HKB-ZZZ-00-DR-AR-010100  
Proposed Ground Level Plan Plots H1 \_ H2 REV P3 received 21/09/2021

PROPOSED PRINTWORKS WALK ELEVATION - PLOTS H1& H2 CWH12-HKB-ZZZ-ZZ-DR-AR-010203  
Proposed Printworks Walk Elevations REV P3 received 21/09/2021

PROPOSED SITE LONG SECTION - PLOTS H1 & H2 CWH12-HKB-ZZZ-ZZ-DR-AR-010350  
Proposed Site Long Section REV P3 received 21/09/2022

PROPOSED SITE SHORT SECTION 01 - PLOTS H2 & H2 CWH12-HKB-ZZZ-ZZ-DR-AR-010351  
Proposed Short Section Plots H1 \_ H2 REV P3 received 21/09/2022

PROPOSED GA MIDDLE ELEVATION - PLOTS H1 & H2 CWH12-HKB-ZZZ-ZZ-DR-AR-010202 Proposed GA Middle Elevations REV P3 received 21/09/2021

PROPOSED GA NORTH AND SOUTH ELEVATION - PLOTS H1 & H2 CWH12-HKB-ZZZ-ZZ-DR-AR-010201 Proposed GA North and South Elevations REV P3 received 21/09/2021

TYPICAL BAY STUDY SOUTH ELEVATION - PLOTS H1 & H2 CWH12-HKB-ZZZ-01-DR-AR-010500 Typical Bay Study South REV P3 received 21/09/2021

TYPICAL BAY STUDY WEST ELEVATION - PLOTS H1 & H2 CWH12-HKB-ZZZ-01-DR-AR-010501 Typical Bay Study West REV P3 received 21/09/2021

TYPICAL BAYSTUDY NORTH ELEVATION - PLOTS H1 & H2 CWH12-HKB-ZZZ-ZZ-DR-AR-010502 Typical Bay Study North REV P3 received 21/09/2021

TYPICAL BAY STUDY EAST ELEVATION 01 - PLOTS H1 & H2 CWH12-HKB-ZZZ-ZZ-DR-AR-010503 Typical Bay Study 01 REV P3 received 21/09/2021

TYPICAL BAY STUDY EAST ELEVATION 02 - PLOTS H1 & H2 CWH12-HKB-ZZZ-ZZ-DR-AR-010504 Typical Bay Study 02 REV P3 received 21/09/2021

PROPOSED GA EAST AND WEST ELEVATION - PLOTS H1& H2 CWH12-HKB-ZZZ-ZZ-DR-AR-010200 Proposed GA East and West Elevations REV P3 received 21/09/2021

LONG SECTION - PLOT H1 CWH12-HKB-ZZZ-ZZ-DR-AR-012301 Cross Section Plot H2 REV P3 received 21/09/2021

CROSS SECTION - PLOT H2 CWH12-HKB-ZZZ-ZZ-DR-AR-012301 Lond Section H1 REV P3 received 21/09/2021

LONG SECTION - PLOT H2 CWH12-HKB-ZZZ-ZZ-DR-AR-012300 Lond section Plot H2 REV P3 received 21/09/2021

CROSS SECTION - PLOT H1 CWH12-HKB-ZZZ-ZZ-DR-AR-011300 Cross Section REV P3 received 21/09/2021

#### Other Documents

Document Planning Compliance Report received 21/09/2022

Document OFR Fire Statement LO20055 10/06/22 R02 received 13/06/2022

Document Circular Economy Statement CWH12-ARP-ZZZ-XX-RP-SU-000005 P01 received 21/09/2022

Document WLC CWH12-ARP-ZZZ-XX-RP-SU-000004 P01 received 21/09/2022

Document Additional design details for Printworks Walk received 05/05/2022

Document Landscape and Open Space Statement received 21/09/2022

Design and access statement received 21/09/2021  
Energy statement received 21/09/2021  
Environmental Statement received 21/09/2021  
Landscaping and open space statement received 21/09/2021  
Planning statement received 21/09/2021  
Service Management Report received 21/09/2021  
Sustainability statement received 21/09/2021  
Travel plan received 12/01/2022

**Permission is subject to the following Grade Condition(s)**

2. (i) Prior to the commencement of any above grade works on the extensions hereby approved as part of the conversion of the Printworks Building, full details of the 'fritted' design to be used for the northern elevation shall be submitted to local planning authority for their approval. This shall include 1:10 elevation and sections together with a sample panel
- (ii) The development shall be undertaken in full accordance with the approved details prior to first occupation of the development and the fritted treatment shall be retained in perpetuity

Reason: In order that the Local Planning Authority may be satisfied as to the quality of the architectural design and details and that the design is adequate to protect the amenity of adjacent residential occupiers in accordance with Chapter 12 - Achieving well designed places of the NPPF (2021); Policies D4 Delivering good design; and D9 - Tall buildings of the London Plan (2021) and Policies: P13 - Design of places; P14 - Design quality, P17 - Tall buildings and P56 - Protection of amenity of the Southwark Plan (2022).

3. Prior to the occupation of H1 or H2 an Enlivenment Strategy relating to the walkway between H1 and H2 shall be submitted to the Council for approval. As a minimum, the Enlivenment Strategy will include the following:
  - o Details relating to lighting, signage; security measures, and landscaping;
  - o An area, or areas identified as being suitable for pop-up exhibitions and/or events; and
  - o An area, or areas identified as being suitable for pop-up or temporary

retail

- o Details of boundary treatment, access and control.

The development shall be implemented in full accordance with the approved details.

Reason: In order that the Local Planning Authority may be satisfied as to the quality of the public realm in accordance with Chapter 12 - Achieving well designed places of the NPPF (2021); Policy D4 Delivering good design (2021) and Policies: P13 - Design of places; P14 - Design quality and P56 - Protection of amenity of the Southwark Plan (2022).

**Permission is subject to the following Compliance Condition(s)**

4. (i) The development shall be undertaken in full accordance with the approved Circular Economy Statement (ref:CWH12-ARP-ZZZ-XX-RP-SU-000005 P01) and Whole Life Carbon Assessment (ref: CWH12-ARP-ZZZ-XX-RP-SU-000004 P01) hereby approved.
  
- (ii) Prior to occupation, a Post Completion Report setting out the predicted and actual performance against all numerical targets in the relevant Circular Economy Statement shall be submitted to the GLA at: CircularEconomyLPG@london.gov.uk along with any supporting evidence as per the GLA's Circular Economy Statement Guidance. The Post Completion Report shall provide updated versions of Tables 1 and 2 of the Circular Economy Statement, the Recycling and Waste Reporting form and Bill of Materials. Confirmation of submission to the GLA shall be submitted.
  
- (iii) Prior to the occupation of the development, the post-construction tab of the GLA's whole life carbon assessment template should be completed accurately and in its entirety in line with the GLA's Whole Life Carbon Assessment Guidance. The post-construction assessment should provide an update of the information submitted at planning submission stage, including the whole life carbon emission figures for all life-cycle modules based on the actual materials, products and systems used. This should be submitted to the GLA at: ZeroCarbonPlanning@london.gov.uk along with any supporting evidence as per the guidance. Confirmation of submission to the GLA shall be submitted to, and approved in writing by, the local planning authority, prior to occupation of the relevant building.

Reason: To ensure that the proposal responds appropriately to climate change policies by reducing carbon emissions and minimising waste streams in accordance with London Plan (2021) Policy SI7 Reducing waste and supporting the circular economy and SI2 Minimising greenhouse gas emissions and Southwark Plan (2022) Policies P69 Sustainability standards and P70 Energy

5. Any servicing deliveries or collections to the commercial units shall only be between the following hours:  
07:00 to 21:00 on Mondays to Saturdays (with an exclusion between the hours of 08:00 - 09:00 and 17:00 - 18:00 to avoid peak travel periods) and

09:00 to 18:00hrs on Sundays & Bank Holidays

Reason

To safeguard the amenity of neighbouring residential properties in accordance with The National Planning Policy Framework 2021 and Southwark Plan Policy P56 Protection of amenity (2022).

6. (i) The development shall be undertaken in full accordance with the Urban Greening Factor report hereby approved.  
(ii) Prior to first occupation of the development hereby approved the applicant shall submit evidence that the development has been constructed in full accordance with the details contained in the UGF Assessment hereby approved.

Reason: In order to ensure that the development has maximised opportunities for urban greening in accordance with Policy G5 (Urban Greening) of the London Plan 2021 and Policy P60 (Biodiversity) of the Southwark Plan 2022

7. The commercial (non-office) uses hereby permitted shall not be carried on outside of the hours of:  
07:00 - 23:00 on Monday to Saturday and;  
08:00 - 22:00 on Sundays and Bank Holidays.

The external terraces hereby approved shall not be used outside of the hours 08:00 - 22:00 on any day.

Reason: To safeguard the amenities of neighbouring residential properties in accordance with Southwark Plan (2022) Policy P56 Protection of amenity.

8. The development shall be undertaken in full accordance with the Fire Strategy (Ref:LO20055 10/06/22 R02) prepared by OFR consultants hereby approved.

Reason: To ensure that the development incorporates all necessary measures to prevent the spread of fire as well as providing adequate means of escape for future occupiers and to comply with London Plan (2021) Policy D2 Fire safety.

### **Informatives**

- 1 Paragraph 3.12.9 of Policy D12 explains that Fire Statements should be produced by someone who is:

"third-party independent and suitably-qualified" The Council considers this to be a qualified engineer with relevant experience in fire safety, such as a chartered engineer registered with the Engineering Council by the Institution of Fire Engineers, or a suitably qualified and competent professional with the demonstrable experience to address the complexity of the design being proposed. This should be evidenced in the fire statement. The Council accepts Fire Statements in good faith on that basis. The duty to identify fire risks and hazards in premises and to take appropriate action lies solely with the developer.

The fire risk assessment/statement covers matters required by planning policy. This is in no way a professional technical assessment of the fire risks presented by the development. The legal responsibility and liability lies with the 'responsible person'. The responsible person being the person who prepares the fire risk assessment/statement not planning officers who make planning decisions.

- 2 The applicant is reminded that this Reserved Matters Application is bound by the Conditions and s106 legal agreement attached to Outline Planning Permission 18/AP/1604

## **Relevant planning policies**

### National Planning Policy Framework

The revised National Planning Policy Framework ('NPPF') was published on 20 July 2021 which sets out the national planning policy and how this needs to be applied. The NPPF focuses on sustainable development with three key objectives: economic, social and environmental.

Paragraph 218 states that the policies in the Framework are material considerations, which should be taken into account in dealing with applications.

Chapter 2 Achieving sustainable development

Chapter 6 Building a strong, competitive economy

Chapter 7 Ensuring the vitality of town centres

Chapter 8 Promoting healthy and safe communities

Chapter 9 Promoting sustainable transport

Chapter 11 Making effective use of land

Chapter 12 Achieving well-designed places

Chapter 14 Meeting the challenge of climate change, flooding and coastal change

Chapter 15 Conserving and enhancing the natural environment

Chapter 16 Conserving and enhancing the historic environment

### New London Plan 2021 Policies

On 2 March 2021, the Mayor of London published the London Plan 2021. The spatial development strategy sets a strategic framework for planning in Greater London and forms part of the statutory Development Plan for Greater London.

The relevant policies are:

GG1 Building strong and inclusive communities

GG2 Making the best use of land

GG3 Creating a healthy city

GG5 Growing a good economy

GG6 Increasing efficiency and resilience

Policy SD1 Opportunity Areas

Policy SD6 Town centres and high streets

Policy SD7 Town centres: development principles and Development Plan Documents

Policy SD8 Town centre network

Policy SD9 Town centres: Local partnerships and implementation

Policy SD10 Strategic and local regeneration

Policy D1 London's form, character and capacity for growth

Policy D2 Infrastructure requirements for sustainable densities

Policy D3 Optimising site capacity through the design-led approach  
Policy D4 Delivering good design  
Policy D5 Inclusive design  
Policy D8 Public realm  
Policy D9 Tall buildings  
Policy D11 Safety, security and resilience to emergency  
Policy D12 Fire safety  
Policy D13 Agent of Change  
Policy D14 Noise  
Policy S1 Developing London's social infrastructure  
Policy E1 Offices  
Policy E2 Providing suitable business space  
Policy E3 Affordable workspace  
Policy E4 Land for industry, logistics and services to support London's economic function  
Policy E8 Sector growth opportunities and clusters  
Policy E11 Skills and opportunities for all  
Policy HC1 Heritage conservation and growth  
Policy HC3 Strategic and Local Views  
Policy HC4 London View Management Framework  
Policy HC5 Supporting London's culture and creative industries  
Policy HC6 Supporting the night-time economy  
Policy G1 Green infrastructure  
Policy G5 Urban greening  
Policy G6 Biodiversity and access to nature  
Policy G7 Trees and woodlands  
Policy SI 1 Improving air quality  
Policy SI 2 Minimising greenhouse gas emissions  
Policy SI 3 Energy infrastructure  
Policy SI 4 Managing heat risk  
Policy SI 5 Water infrastructure  
Policy SI 6 Digital connectivity infrastructure  
Policy SI 7 Reducing waste and supporting the circular economy  
Policy SI 8 Waste capacity and net waste self-sufficiency  
Policy SI 12 Flood risk management  
Policy SI 13 Sustainable drainage  
Policy T1 Strategic approach to transport  
Policy T2 Healthy Streets  
Policy T3 Transport capacity, connectivity and safeguarding  
Policy T4 Assessing and mitigating transport impacts  
Policy T5 Cycling  
Policy T6 Car parking  
Policy T6.1 Residential parking  
Policy T6.2 Office parking  
Policy T6.5 Non-residential disabled persons parking  
Policy T7 Deliveries, servicing and construction

## Policy T9 Funding transport infrastructure through planning

### Southwark Plan 2022

ST1 Southwark's Development targets

ST2 Southwark's Places

SP2 Southwark Together

SP3 Great start in life

SP4 Green and inclusive economy

SP5 Thriving neighbourhoods and tackling health equalities

SP6 Climate Change

AV.15 Rotherhithe Area Vision

P13 Design of places

P14 Design quality

P16 Designing out crime

P17 Tall buildings

P18 Efficient use of land

P22 Borough views

P23 Archaeology

P28 Access to employment and training

P30 Office and business development

P31 Affordable workspace

P35 Town and local centres

P39 Shop fronts

P45 Healthy developments

P46 Leisure, arts and culture

P50 Highways impacts

P51 Walking

P53 Cycling

P54 Car Parking

P55 Parking standards for disabled people and the mobility impaired

P56 Protection of amenity

P57 Open space

P59 Green infrastructure

P60 Biodiversity

P61 Trees

P62 Reducing waste

P64 Contaminated land and hazardous substances

P65 Improving air quality

P66 Reducing noise pollution and enhancing soundscapes

P67 Reducing water use

P68 Reducing flood risk

P69 Sustainability standards

P70 Energy

NSP781 Harmsworth Quays, Surrey Quays Leisure Park, Surrey Quays Shopping Centre and

Robert's Close

### Mayors SPD/SPGs

Culture and Night-Time Economy (November 2017)

Social Infrastructure (May 2015)

Accessible London: Achieving an Inclusive Environment (October 2014)

The control of dust and emissions during construction and demolition (July 2014)

Town Centres (July 2014)

Character and Context (June 2014)

Sustainable Design and Construction (April 2014)

Use of planning obligations in the funding of Crossrail, and the Mayoral Community

Infrastructure Levy (April 2013)

Land for Industry and Transport (September 2012)

London View Management Framework (March 2012)

Planning for Equality and Diversity in London (October 2007)

### Southwark SPDs/SPGs

Design and Access Statements (2007)

S106 and CIL (2015)

S106 and CIL Addendum (2017)

Sustainability Assessments (2007)

Sustainable Design and Construction (2009)

Sustainable Transport (2009)

Relevant planning history

Reference and Proposal	Status
<p><b>18/AP/1604</b></p> <p>Hybrid application seeking detailed planning permission for Phase 1 and outline planning permission for future phases, comprising:</p> <p>Outline planning permission (all matters reserved) for demolition of all existing structures and redevelopment to include a number of tall buildings comprising the following mix of uses: retail (Use Classes A1-A5), workspace (B1), hotel (C1), residential (C3), assisted living (C2), student accommodation, leisure (including a cinema)(D2), community facilities (including health and education uses)(D1), public toilets, nightclub, flexible events space, an energy centre, an interim and permanent petrol filling station, a primary electricity substation, a secondary entrance for Surrey Quays Rail Station, a Park Pavilion, landscaping including open spaces and public realm, works to Canada Water Dock, car parking, means of access, associated infrastructure and highways works, demolition or retention with alterations to the Press Hall and/or Spine Building of the Printworks; and</p> <p>Detailed planning permission for the following Development Plots in Phase 1:</p> <p>Plot A1 (south of Surrey Quays Road and west of Deal Porters Way) to provide uses comprising retail (A1-A5), workspace (B1) and 186 residential units (C3) in a 6 and 34 storey building, plus basement;</p> <p>Plot A2 (east of Lower Road and west of Canada Water Dock) to provide a leisure centre (D2), retail (A1-A5), and workspace (B1) in a 4, 5 and 6 storey building, plus basement; Plot K1 (east of Roberts Close) to provide 79 residential units (C3) in a 5 and 6 storey building;</p> <p>Interim Petrol Filling Station (north of Redriff Road and east of Lower Road) to provide a petrol filling station with kiosk, canopy and forecourt area. Each Development Plot with associated car parking, cycle parking, landscaping, public realm, plant and other relevant works.</p>	<p>GRANTED - Major Application 29/05/2020</p>

## Consultation undertaken

**Site notice date:** 14/10/2021

**Press notice date:** 07/10/2021

**Case officer site visit date:** n/a

**Neighbour consultation letters sent:** 21/04/2022

### Statutory and non-statutory organisations

Environment Agency

London Fire & Emergency Planning Authority

Natural England - London & South East Region

Metropolitan Police Service (Designing O

Transport for London

Thames Water

Historic England

### Neighbour and local groups consulted:

Security Lodge Surrey Quays Leisure Park Surrey Quays Road	Quebec Way
Surrey Quays Leisure Park Surrey Quays Road London	Apartment 66 Claremont House 28
Security Lodge Santander Atm Surrey Quays Leisure Park Surrey Quays Road	Quebec Way
Security Lodge Abbey National Atm Surrey Quays Leisure Park Surrey Quays Road	Apartment 65 Claremont House 28
Alfred Salter Primary School Quebec Way London	Quebec Way
Apartment 55 Claremont House 28 Quebec Way	Apartment 64 Claremont House 28
Apartment 70 Claremont House 28 Quebec Way	Quebec Way
Apartment 69 Claremont House 28 Quebec Way	Apartment 63 Claremont House 28
Apartment 68 Claremont House 28 Quebec Way	Quebec Way
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Apartment 75 4 Maple Way London  
Apartment 84 4 Maple Way London  
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Apartment 76 4 Maple Way London  
Apartment 74 4 Maple Way London

Apartment 73 4 Maple Way London  
Apartment 72 4 Maple Way London  
Apartment 71 4 Maple Way London  
Unit 2 And 3 24 Quebec Way London  
Unit 1 24 Quebec Way London  
6 Roberts Close London Southwark  
5 Roberts Close London Southwark  
4 Roberts Close London Southwark  
3 Roberts Close London Southwark  
2 Roberts Close London Southwark  
1 Roberts Close London Southwark  
Hawker House Canada Street London  
East Warehouse Canada Water Retail  
Park Surrey Quays Road  
Dirtybird Restaurant Printworks Surrey  
Quays Road  
Printworks Surrey Quays Road London  
Uci Cinema The Mast Leisure Park  
Surrey Quays Road  
Unit 4 Canada Water Retail Park Surrey  
Quays Road  
1 Surrey Quays Road London Southwark  
Unit 1 Canada Water Retail Park Surrey  
Quays Road

**Re-consultation:**

## Consultation responses received

### Statutory and non-statutory organisations

Environment Agency  
 Natural England - London & South East Re  
 Metropolitan Police Service (Designing O  
 Transport for London  
 Thames Water  
 Historic England

### Neighbour and local groups consulted:

Room 334, Beit Hall Prince Consort Road London	Apartment 47 5 Ferry Lane Brentford
8 Macdonald Road London N113JB	78 windmill lane Cheshunt En8 9ab
94 mapledene road London E8 3JW	6 oakdell Dronfy S18 2EG
Flat 308, 36-40 Copperfield Road London E34RR	12 Finland Street London SE167TP
3 Pitfield Street London N1 6HG	Quebec Way Rotherhithe London
4 Torcross Road South Ruislip HA40TA	Flat 37, 1b Glengall Road London
8 Archer House Vicarage Crescent Battersea Village	10 Fairlawn green Reading Rg2 8eg
56 Belgarum Place Staple Gardens Winchester	44 DORSET WAYE LONDON TW5 0ND
Flat 5, 1 Bywell Place London E16 1JW	11 Heron Place London SE16 5NZ
1417 Prospect Place New York Brooklyn	15 Pollard House 122a Spa Road London
26 Stapleton Hall Road London N4 3QD	5 Oster Terrace London E17 7AY
46 West Road, Sawbridgeworth Herts cm21 0bn	216 Muswell Hill broadway London N10 3SH
1b Median Road London E5 0PF	74 Nanekville Court Woking Gu22 7rf
122A Spa Road 15 Pollard House London	52 Roosevelt Apartments 1 Lexington Gardens Birmingham
81 Oxford Gardens London W10 5UL	58 Aspenlea road Aspenlea Road Hammermsith
6 Wood Road Camberley GU15 2RL	5 Curzon Street London W1J 5HE
3 lime grove Woking GU229PW	11 Heron Place 11 London
Flat 3, 3 Risborough Street London se1 0HF	6 Delius gardens Horsham Rh136ry
4C Richborne Terrace London SW81AP	Flat 9, Bloom House 15 Alameda Place London
6 Wood Road, Camberley, Surrey, United Kingdom. Camberley GU15 2RL	131 Long Catlis Road Rainham Gillingham
1 Larkhall lane London Sw46RQ	6 Delius Gardens Horsham Rh136ry
Flat 17 Meridian court London Se164uf	Flat 28, Vantage Point 174 Sanderstead Road Croydon
25A Poyntz Road London SW11 5BH	Flat A-D, 347 Caledonian Rd London N1 1DW
4 Wharf Mews Biggleswade SG180AW	69 Burr close London E1w 1nd
Needleman Street Flat 113, Vancouver House London	184 Providence Square London SE1 2EE

139 B Newington Green rd London  
N14RA  
104 Port Tennant Road Swansea SA1  
8JG  
22 GILLIES STREET ACCRINGTON  
Flat 24 Kennington Palace Court  
Sancroft Street London  
4 Rudall Crescent London NW3 1RS  
7 Meadow Grove Chandlers Ford  
Eastleigh  
92 Pynfolds Estate Jamaica Road  
London  
Flat 417 Cornell Building 1 Coke Street  
London  
Flat 2, 69 Kings Road, Leytonstone  
London E11 1AU  
Flat 9 34 Queen's Row London  
505 BLACKWOOD APARTMENTS  
VICTORY PLACE LONDON  
Flat 11, Hepburn Building, 51 Grange  
Walk London SE1 3GJ  
36 Purcell Street London N16RD  
Flat 3 41 reculver road London  
129 Jim Driscoll Way Cardiff Cf11 7jr  
3 King and Queen Close London SE9  
4AZ  
4 northlands street London Se59pl  
21 Albert Road Polegate BN26 6BS  
Flat 4, 34 Lansdowne Street 34  
Lansdowne Street Hove  
57 Epirus Road London SW6 7UR  
6 Thurleigh House 10 Thurlow Park  
Road London  
39 Crookham Road LONDON  
SW115UQ  
Derryhasna O briens bridge Limerick  
Little Patrick Street 6 Nelson Street  
Belfast  
13 Canalside Square London N1 7fn  
14 marsh wall London E14 9SD  
52 French Laurence Way Chalgrove  
Oxford  
6 pen y lan penclawdd Swansea SA4  
3LL  
3b Glenwood Road London N15 3JD  
Flat 40 North Mill Apartments London E8  
4FE  
33 Flat 2 Turnpike Lane London

39 Herrick Rd london N5 2JX  
18 Melford Road London E17 7EL  
2 Holly Tree Cottages Norwich  
NR116QA  
47 Elm Avenue Eastcote HA4 8PE  
162a Clapham Park Road London  
LONDON  
Flat 8, Roland Court 145 Auckland Road  
London  
5 Manchester Road London E143BD  
7 Seely road London Sw179qp  
72 Hanworth Road Warwick Cv345dx  
6 the mount todmorden ol148bh  
33 Hambalt Clapham London  
Flat 15 Michelangelo Court Stubbs Drive  
London  
35 Alpine Road Hove BN3 5HG  
Flat 22 10 Ravensbury Terrace London  
9 Hilltop Crescent Clacton on Sea CO16  
9HZ  
35 Darlow Drive Bedford Mk404AY  
86/6 Montpelier Park Edinburgh EH10  
4NG  
18 St Marys Road Sale M336sa  
37 Rosewood Cork P31 TD42  
348 Gun Club Road Auckland 2676  
10 parham road Worthing Bn14 0bl  
Flat 2 14 Paul's Row High Wycombe  
16 Havencroft Bush Street East  
Portsmouth  
51 Vanderbilt Road London  
328B South Lambeth Road London SW8  
1UQ  
42 Granby Grove Southampton So17  
3RZ  
88 Leigham Vale London Sw16 2jg  
FLAT 17, ACTON HOUSE LEE STREET  
LONDON  
43 Rays Meadow Wolverhampton TF4  
3GE  
135 Lynmouth Ave Morden SM4 4RR  
Millside Mill road Sudbury  
54 Hamsterly Park Southfields  
Northampton Nn35dx  
286 Greenkeepers Road Bedford  
Mk404GW  
Flat 11 25 Robsart Street London  
132 Ann moss way London

9 sames court cambridgeshire cb24 8qn  
 34 Masefield Close Romford RM37PP  
 18 Moorend Street Cheltenham  
 GL530EH  
 Flat 25, Orchard House Lower Road  
 London  
 19 Martime Street London  
 50 Rectory Lane Bracknell RG127BP  
 Sorenskriver Qvigstads vei 2A DRØBAK  
 1443  
 1 Buckthorn Way Red Lodge Bury St  
 Edmunds  
 11 St Minver Road Bedford MK40 3DQ  
 45 Hamilton Terrace London NW8 9RG  
 57 Queen Mary Road London Se193nn  
 294 Chesterfield Road North Mansfield  
 NG197QT  
 50b New Road Milnathort KY13 9XT  
 Manor Farm Yatesbury Calne  
 34 Manchester Street London W1U 7LQ  
 37 Holmsley Lane Pontefract WF93JF  
 65 Buckingham Street Aylesbury HP20  
 2NF  
 58 Fairleads, Blackhorse Mills 2  
 Wickford Way London  
 9 Elm House Elm Road Kingston Upon  
 Thames KT2 6JJ  
 26 Turner View Oxford OX3 8GG  
 4 almshouses New Lane hill Reading  
 Flat 27 10 The Grange London  
 6 Oakwood apartments 36 Fairview road  
 Norbury  
 85 Hayter Road London SW2 5AD  
 30 appach road Brixton London  
 56 Bierton Road Aylesbury HP20 1EJ  
 348 field end road Eastcote Ha49pg  
 Flat 11 Claremont Court 272 Cambridge  
 Heath Road London  
 199 Hackney Road London E28JL  
 1 Thornton Avenue London SW24HL  
 23a Princess Road London NW1 8JR  
 149 Queens walk London Ha4 0nw  
 64A Springfield Road Brighton BN1 6DE  
 Flat 16, Smithies Court London N16 8AY  
 65 ellsworth street Bethnal green E2 0bd  
 Flat 6, 15 Hoxton square London N16NT  
 53 Dalston Lane Flat B London  
 Unit 1 9 Wigton Place London

67 Bridge Road Manchester M11AE  
 FLAT 3 68 OLD STREET LONDON  
 90 ASHURST ROAD London N12 9AX  
 8 South Lake Crescent Woodley RG5  
 3QW  
 Barons Down Whitehill Road Meopham  
 94 Markyate road Dagenham Rm8 2LB  
 Flat B, 287 Hackney Road London E2  
 8NA  
 322 High Holborn London Wc1v 7pb  
 46 Dock Hill Avenue London SE16 6AY  
 4 albert Road Ashford Tw15 2lu  
 3 The Limes North Road Hertford  
 12 broad green Cheveley Newmarket  
 6 Alderton Road Brixton LONDON  
 Flat 203 165 Rotherhithe St London  
 65 Pitchford St London E15 4RZ  
 10 Preston lodge Brighton BN1 2HQ  
 3 Winchmore Drive Cambridge CB2 9LW  
 13 The Sidings POLEGATE BN26 6GA  
 Flat 2, The Stableyard Broomgrove Rd  
 London  
 Flat A, 40 woodland road London Se19  
 1nt  
 19 Laen Close Kent ME4 5DP  
 Comfort House Apartment 401 9-17  
 Turner Street London - Whitechapel  
 2 butts close Southampton SO19 1DE  
 Flat 25 Queensgate House 1 Hereford  
 Rd London  
 6 Kingston Road Galway H91 RK0V  
 47 Westow Street London Se19 3rw  
 17 Blue Anchor Lane London SE16 3UL  
 100 coldharbour lane London SE5 9pu  
 59 Dickens Avenue Wiltshire SN13 0AE  
 43 South Ridge Billericay Essex  
 64 Rostella road Tooting Sw170hu  
 PF1 20 Parsons Green Terrace  
 Edinburgh  
 FLAT 4, WILKINSON HOUSE  
 CRANSTON ESTATE LONDON  
 19 Childebert Road Balham London  
 Flat 8, 18 Lancaster Road London Se25  
 4aj  
 9 LEYDON CLOSE Rotherhithe London  
 5 Hamilton Road Brentford TW80QE  
 34 Rowan Close St Albans AL4 0ST  
 46 Botanic Square London E14 0LW

6 Towan Blystra Road Newquay  
Greater London House Hampstead Road  
London  
25 Branksome Avenue Southampton  
SO15 5NX  
119 Lothrop Street Lothrop Street  
LONDON  
Flora building, 11-13 long st Hackney E2  
8HJ  
Flat 9, The Curve Building Chudleigh  
Road LONDON  
12 Cranley Place London SW73AE  
1503 NEW COOPER POINT 52 NEW  
KENT ROAD London  
34a Kingsdown Parade Flat 2b Bristol  
43 Jerrymoor Hill Finchampstead RG40  
4UG  
7 baynham close Bexley DA5 1RN  
7 Connaught Road London N4 4NT  
122 Stanley Avenue Romford Rm2 5db  
69 Durward Street London E1 5BT  
18 Pleasant Drive Billericay Essex CM12  
0JL  
58 Thorpe Hall Avenue Southend on Sea  
SS1 3AU  
20 Tremadoc Rd London Sw4 7ll  
Hardel Walk, 60 60 London  
Binnenwaard 3 Wijk en Aalburg 4261MA  
10 Lordship Road Northolt UB5 5TF  
Flat 25, Gabriel House 10 Odessa Street  
London  
266A Lower Road London SE8 5DJ  
Flat 106-109, 43-51 New North Road  
Hoxton London  
1 Bearstead rise London Se4 1rq  
Hooke Park Beaminster Dt83ph  
26 gray court Stevenage Sg13uh  
12 Myron Crescent Warwick CV346QA  
4 Rudall Crescent London NW3 1RS  
Apartment 1, The Foundry, 83-86 Carver  
Street Jewellery Quarter Birmingham  
55, Bordars Road Hanwell London  
32, Claerwen Drive Cardiff Cf236ls  
13 gosterwood street London SE8 5PB  
45a prince of wales drive London SW11  
4BH  
161 Gloucester Avenue LONDON NW1  
8LA

3 Frensham Walk Walderslade Woods  
Chatham  
2 York House Bletchley Milton Keynes  
Apartment 70 Stanton House 620  
Rotherhithe Street London  
Flat 10 waterside heights London E16  
2GP  
42 Broomsleigh Street London NW6  
1QH  
6 Chestnut Walk Chestnut Walk  
Stratford-Upon-Avon  
LABS House 15-19 Bloomsbury Way  
London  
9 Henry Jackson House Henry Jackson  
road London  
5 Dower Close Ovingdean Bn27bw  
44 Aliwal Road London SW11 1RD  
D301 Carmine Wharf 30 Copenhagen  
Place London  
63 Highett Rd Hampton 3188  
65 The Hill St Albans AL4 8pr  
123 Sesame St. Winterfell 90210  
Flat 2104 Ostro Tower 31 Harbour Way  
London  
24 Elder Close Reading RG31 5WG  
10, the Spaceworks 21 plumbers row  
London  
23 Brewhouse Lane London E1W 2NU  
1 Cecil Avenue Bournemouth BH8 9EL  
1 Rustic Court Lower Clapton Road  
British  
Flat 126 Ivy Point 5 Hannaford Walk  
London  
14 CHURCHILL CRESCENT THAME  
OX9 3JN  
81 Burney Avenue Surbiton Kt5 8DF  
4 Rustic Court London E5 8DZ  
Flat 2 79 York Street London  
588 Adams Hill Nottingham  
20 Chelworth Road Swindon SN66HD  
Flat 830, Whitehouse Apartments 9  
Belvedere Road London  
1 Bewicke view Birtley Chester-le-street  
29 Trem Yr Efail Ystrad Mynach CF82  
7FL  
11 Chesterfield Street Greymouth, New  
Zealand 7805  
1a seacashwalk Antrim Bt41 1az

241 Woodstock road Oxford OX2 7AD  
 4 Acer Grove Chelmsford Cm1 7sz  
 139 howth drive Reading Rg5 3dj  
 63 Connaught Gardens London N10  
 3LG  
 19 Cranleigh Gardens Sanderstead  
 Croydon  
 19, Robinia House 10 Blondin Way  
 London  
 22 SHIPWRIGHT ROAD LONDON SE16  
 6QB  
 5 Sycamore Close Heathfield TN21 8HR  
 30 ingoldsby road Folkestone CT196JL  
 3 Tillingbourne Gardens London N3 3JJ  
 Flat 21 Hoover Building, Western  
 Avenue Perivale UB6 8AT  
 Flat 37 12 Bermondsey Square London  
 Top Flat 62A Asylum Road London  
 SE15 2LW  
 30 Theydon Road London E5 9NA  
 5 Probyn Road London Sw23LH  
 378 Clapham Road Flat 22 London  
 145 George Lane Hither Green SE13  
 6HP  
 26 Toronto House Surrey Quays Road  
 London  
 222 Cromwell Road Flat 5 London  
 The Moat House London W5 5RJ  
 49 Whitehorse St Hereford HR40ER  
 17 Victoria Avenue Sleaford NG34 7LN  
 14 Waldron Road London SW183TE  
 Flat 77 Prospects Place 14 Fairfax Drive  
 Westcliff on Sea  
 35b Ashchurch Park Villas London W12  
 9SP  
 Flat 607 12 Western Gateway London  
 53 olaves estate druid st london se12ex  
 109 Onslow Square London Sw7 3LU  
 28 Cowdrey Court Dartford DA12PL  
 54C Arundel Square LONDON N7 8AP  
 16a Manor Mount London Se23 3pz  
 Quantocks The Endway Great Easton  
 18 Chatsworth Road London W4 3HY  
 Flat 5, Rococco House, 65 Princelet  
 Street LONDON E1 5LP  
 16 Harrow Road Clacton CO15 3PU  
 68 Chetwynd Road London NW5 1DE  
 Flat 1, 160 Lower road London  
 SE162UG  
 19D Buckingham Road London N1 4DG  
 31 The Oval Didcot OX11 7EJ  
 95 Madrid Road London NW6 5QW  
 104 Rothbury Terrace, Heaton  
 Newcastle-upon-Tyne NE6 5DB  
 45 Schoobell Mews, Arbery Road  
 London E3 5BZ  
 81 Torrington Drive Loughton IG103TA  
 Conifers Birchwood grove road Burgess  
 hill  
 58 Byron terrace London Se77fb  
 29E Churchfield Road London W13 9NF  
 65 Cookworthy road Plymouth PL2 2lh  
 3 Sarah street Black rock 3193  
 Flat 1, 452A Hornsey Road London N19  
 4EE  
 92 Kirkhill Road Penicuik EH26 8JF  
 Flat C, 42 Queens Row London SE17  
 2PX  
 281 hornsey road London N7 6rz  
 10 Undwrwood Row London N1 7LQ  
 26 Rushford road London Se41sg  
 12 Brandreth Close Sheffield S6 3JW  
 3A Lysias Road London  
 61 Plover Way London SE167TS  
 18 Alldicks Road Hemel Hempstead  
 29 Abercorn Way London Se1 5hl  
 9 Harvesters Haywards Heath RH16 4JX  
 Cricklewood Lane 148 London NW22DT  
 45 Ebenezer House Kennington Lane  
 London  
 18B Stavordale Road London N51NE  
 129 Topsham Road London SW17 8SW  
 The Red House West Hanningfield road  
 Chelmsford  
 Flat 9, Dekker House Dalston Square  
 London  
 24 Mendip Road Hornchurch RM11 1LL  
 70 Rockbourne Road Basingstoke RG27  
 0SR  
 Flat 2 190 Rye Lane Peckham,  
 LONDON  
 87 Harrowgate Road London E9 5EB  
 8 Carlisle Walk Hackney LONDON  
 186 Culford Road London N1 4DS  
 12 Corfield Avenue Heanor DE7( 7DF  
 53 Old Dairy Close Fleet GU513SJ

Church cottage Bristol BS39 4nw  
 Flat 44 Gabriel House Odessa Street  
 London  
 51 Graham Avenue Ealing W13 9TQ  
 9420 Octavia Ave Morton Grove 60053  
 26 Turneville Road Elstree Hill South  
 LONDON  
 30 Windmill Street Brighton BN2 0GN  
 36 Fitzroy Road Lewes BN7 2ud  
 505 Ginger Apartments 1 Cayenne Court  
 SE1 2PA London SE1 2PA  
 55 Lorrimore Road Southwark LONDON  
 71 Canterbury Place Southwark  
 LONDON  
 4 Hazelhurst road Birmingham B147PJ  
 Flat 22 Fircroft, Epsom Road  
 Leatherhead KT228TA  
 55 Britton Street London ec1m 5uq  
 SKEENA Hill London SW185PW  
 6 Claremont Laleham road Shepperton  
 St Pauls Street Brighton BN2 3HR  
 17 Eel Holme View Street Keighley  
 BD206AY  
 61 North Barcombe Rd Liverpool L16  
 7PU  
 53A Albany Street Edinburgh Eh13qy  
 18 Lancaster Road London Se25 4aj  
 13 Connaught Avenue Grays RM162XR  
 Flat 1, 104 Triangle Place London  
 SW47EQ  
 1D St Leonard's Road Surbiton KT6 4DE  
 Top Flat 62a Asylum Rd London  
 SE152LW  
 15 Queen Elizabeth Street Tower Bridge  
 Square London  
 23 Damson Crescent Southampton  
 SO50 8RD  
 Flat 94 Icona Point 58 Warton Road  
 London  
 23 Haywards Crawley Rh10 3ne  
 37 Swanside Road Liverpool L14 7NJ  
 New house Cambrian villa La route de la  
 haule St peter  
 6 London SE22 9EE  
 Cundalls Farm Scruton Northallerton  
 58 Searles Road London SE1 4YL  
 90 White Post Lane London E9 5EN  
 Flat 16, 41-53 Goswell Road London  
 EC1V 7EH  
 16 FROBISHER CLOSE EASTBOURNE  
 BN23 6BT  
 Flat 55, Effra Court Brixton Hill London  
 53 Shelgate Walk Woodley Reading  
 26 Framfield Road London CR42AL  
 Flat 16 Smithies Court 41 Pellerin Road  
 London  
 115 Embleton Road London SE13 7DQ  
 20 Brightwell Walk Manchester M4 1LZ  
 The red house Chelmsford Cm2 8fq  
 Top Flat 62a Asylum Rd London  
 SE152LW  
 1D St Leonard?s Road Surbiton KT6  
 4DE  
 128 NEW CLOSE LONDON SW192SZ  
 Flat 19, Rockeby House Lochinvar Street  
 London  
 Flat 6 Seaford House Swan Road  
 London  
 5 Long Acre Purton swindon  
 65 Gomm Road London SE16 2TY  
 17 Gardner Court London N5 2PG  
 70 Camberwell Grove Camberwell  
 London  
 9 Chapel Drive Arlesey SG15 6PB  
 9 Chatsworth Avenue Wembley HA9  
 6BE  
 182 Alma Avenue Hornchurch RM12  
 6BL  
 33 Cephas Avenue LONDON E14AT  
 159 Powys Lane London N134ns  
 9 Apsley Road Horley RH6 9RX  
 73 COTTON HILL BROMLEY BR1 5RS  
 98 PAULET ROAD London  
 182A Drayton Park London N5 1LU  
 15 lios ealtan galway h91x891  
 4 Hampers court Horsham Rh13 5et  
 5 Haling Park Gardens South Croydon  
 CR2 6NP  
 Flat 3, Larch House London Se16 7dh  
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 Flat 1 37 the chase London  
 4 Fitzgerald House St. George?s Grove  
 London  
 12 Hertford road Brighton Bn17gf  
 91 Gray's Inn Road London WC1X8TX  
 27a western road Hagely Stourbridge

Stourbridge  
 40 Wharf Mews Biggleswade SG18 0aw  
 298 Hubert Road Launton Road  
 Birmingham  
 127A Kennington Lane London SE11  
 4HQ  
 9 Waldeck Road London W13 8ly  
 27 Old Manor Drive Isleworth TW7 7NN  
 The Fox Main Street Newark  
 33a station road Pinhoe Exeter  
 434 muswell hill Broadway London N10  
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 503 Fairway Court 15 Culvert Drive  
 London  
 238 Dyke Road Brighton BN1 5AE  
 Flat 11, Whitfield Court Rouse Gardens  
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 34 Temple Avenue London N20 9EH  
 15 Furze Hill Road Shanklin Po377pa  
 11 turbary road Ferndown Bh22 8aw  
 49 Mafeking road Portsmouth PO4 9bg  
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 Beckenham  
 109 Orchard Way Churchdown  
 Gloucester  
 Flat 1101 Kitson House 6 Corsican  
 Square London  
 54 Barrow Point Avenue Pinner HA5  
 3HG  
 402 Manchester Road London E14 3ES  
 Flat 4, 1 Peckham Hill Street London  
 SE15 6BN  
 Flat 11 Cabot Court Worgan Street  
 London  
 86 Woodstock Road Sheffield S7 1HB  
 13 St Albans Crescent London N22 5NB  
 10 fairlawn green Reading RG2 8eg  
 Flat 29 Hollyfield Pooles Park London  
 32 Fayrewood Drive Great Leighs  
 Chelmsford  
 7a Buckland Road Poole Bh122na  
 39 brick kiln lane Mansfield Ng185jy  
 65 Cavendish Road London N41RR  
 115 Embleton Road London SE13 7DQ  
 48 Alfred Close Totton Southampton  
 44 Farnesdown Drive Wokingham  
 RG411LD  
 174 Ladywell road Lewisham London  
 3 Neville Road Passage Luton LU3 2JH  
 18 Thirlmere road London Sw16 1QW  
 3a Eden View Road Sandringham  
 Auckland 0614  
 2 Brownspring Drive London SE9 3jx  
 12 Abingdon Close Uxbridge UB10 0BU  
 PHS London NW51  
 176 gilders road Chessington Kt92ea  
 71 Pretoria Road London E114BB  
 83 headingley avenue leeds tn197pl  
 Flat 304 Skein Court 5 Gresham Place  
 London  
 Flat 27, 1-6 Bateman?s Row London  
 EC2A 3HH  
 Flat 470 Devon Mansions Jamaica Road  
 LONDON  
 6633 Ronda Avenue Charlotte 28211  
 30 Burniston Court Wallington SM6 0AD  
 65 Castle Avenue Epsom KT17 2PJ  
 29 heron place London E16 2fj  
 96 Meldon Terrace Newcastle upon  
 Tyne NE6 5XQ  
 SE1 London SE1  
 17 Wolfe Crescent London SE16 6SF  
 155-157 Queens Crescent Flat F London  
 1 Mulvaney Way, Kipling Estate, London  
 38E SHEPPERTON ROAD LONDON N1  
 3DQ  
 8 Vicarage Gardens Bath BA2 8JP  
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 Gardens PINNER  
 2 Alice Street London SE1 4QZ  
 53 Leamington Court Castleon Whitby  
 90B Gorrige Park Avenue MITCHAM  
 CR4 2DJ  
 39 Severn Dr Esher KT10 0AJ  
 55 Camp Mount Pontefract Wf8 4bx  
 Flat 12, Saskia House 87-91 Hackney  
 Road London  
 65 alderton road Croydon Cr06hl  
 18 Balmoral House Pavilion Way  
 Macclesfield  
 153D St Pancras Way London Nw1 0sy  
 Camberwell Church Street Camberwell  
 SOUTHWARK  
 30 Silicon Court Milton Keynes MK5 7DL  
 32 Glasford Street London SW17 9HN  
 first floor 234-236 broadway bexleyheath

Flat 24 3 Bournemouth RD Peckham  
52 French Laurence Way Chalgrove  
Oxford  
15 Frome Close Lincoln LN6 3DA  
20 Wyndham Drive Romsey So510ap  
Flat 5, 29A BATH TERRACE London  
Se1 6ps  
16 Millard Road London SE8 3GA  
59 Fairfax Road London NW64EG  
17 Wolfe Crescent London SE16 6SF  
68 Winchester Street London SW1V  
4NH  
14 Beechwood Road CATERHAM CR3  
6NA  
178 Odessa Road London E79DY  
28b Harlescott road (former) (Currently  
residing in Canada) London  
53 Brookwood Farm Drive Flat 8  
Becketts Court Woking  
13 MORGAN COURT FELTHAM HILL  
ROAD Ashford  
90 Reighton Road London E5 8SG  
32 Clumber Road Notts NG2 6DQ  
58D Weston Park London N89TD  
78 Maltings Close London E3 3TB  
G07 Miller House, 4 beaufort gardens  
London E1 3FA  
109 Salisbury Road Plymouth PL48TB  
Flat 706 2 Barking Wharf Square Barking  
Flat 56 Victoria House 38 Surrey Quays  
Road London  
33B-33C Devonshire Road London  
SE23 3EN  
6 Nelson Place Broadstairs CT10 1HQ  
Flat 24 Defiant House 1 Kellett Street  
Uxbridge  
16 Whitby Close Greenhithe  
28B Hurstbourne Road London SE23  
2AB  
361 Brixton Road London SW9 7DA  
56 Derrynacrannog Belleek, Fermanagh  
Enniskillen  
66 Woodvale Walk London Se270ey  
33 second ave Cape woolamai 3925  
49 croftwood High Wycombe Hp137ye  
31 Maple Avenue Leigh On Sea SS9  
1PR  
15 Stadium Mews London N51FP

Flat 7, Tavistock Tower Russell Place  
London  
Flat 3, 8 St Mary's Road London SE15  
2DW  
20 nursery road london n2 9ra  
33 Howard?s Lane London SW15 6NX  
52 Robinson Road Wootton, Boars Hill  
Oxford  
94 Chelmer Drive South Ockendon  
RM15 6EE  
16 Hazel Drive Erith DA8 2LU  
131 Marlow Road London SE20 7XN  
13 Bankhall Lane Manchester WA150LA  
6 Princes Garth 31 London Road London  
58 Clarence Avenue London SW4 8JF  
1 park hill London Sw49ns  
The small holding Colchester CO76PJ  
108 skipton close Stevenage Sg28tw  
21, Jacklin Green Jacklin Green  
WOODFORD GREEN  
Flat E the Market 3 Choumert Road  
London  
Flat 1 Gaumont Apartments London Sw6  
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16 beale close Stevenage Sg2 0ls  
3 Derry Mews 39a Bavaria Rd London  
4 Buckters Rents Canada Water London  
10 Solon Road London SW2 5UY  
63D Bedford Road London SW4 7RH  
198 Benhill road Sutton Sm1 3sa  
94 Brunel road Southampton So15 0lr  
135 Duke Road London W4 2BX  
E14 0bg London E14 0bg  
Flat 29 Hollyfield London N43FG  
3 Archer road Tonbridge TN12 9FQ  
43 Rivulet Apartments Hackney London  
Flat 23, 49 Hacon Square London E8  
3BE  
2 Lord Street 42 queen's gate Watford  
65a Chadwick road London Se15 4pu  
16 bercham Milton Keynes MK8 8HX  
10 City north place London N4 3FS  
63 camberwell church Street London  
Se5 8tr  
15 dacombe drive Poole Bh16 5jh  
Flat 7 Townsend Court London N160AY  
59 Lessingham Avenue London SW17  
8LZ

FLAT 15, 7 OLD TOWN London  
65 York Way Chessington  
41 Westfield Road Dagenham Rm95Bh  
6 Sevenoaks Road London SE4 1RB  
7 festival court 7 holly street London  
17 TEMPLE DWELLINGS TEMPLE  
STREET LONDON  
23 Ecclesbourne Apartments 64  
Ecclesbourne Road London  
49 Ranelagh Road London E153DP  
17 Canberra Road Worthing BN13 3HH  
41 Robin Drive Nantwich CW5 5XU  
Airport Farm Ipswich IP10 0JN  
3 Murphy street Melbourne 3051  
Smithy cottage Hopton wafers  
Kidderminster  
27 Firbank Road St.Albans Al36na  
66 beaufort court Richmond Tw107yq  
2b Riverbank Rd Auckland 0600  
109 Shenley road London SE5 8NF  
168 William Heelas Way Wokingham  
RG40 1GS  
7 Wood Cottages Cummings Cross  
Liverton  
26 Tilling Green Dunstable LU54FN  
113 Needleman Street London  
SE167BW  
Flat 2, 6 Gladstone Place Tower Hamlets  
E3 5EU  
Norfolk Avenue London N13 6AG  
6 Cherry Way Shepperton TW17 8QG  
49 LANGLEY ROAD WELLING DA16  
1BJ  
Flat 10 1a Adelaide Road Leyton  
Flat 6 BRUNSWICK VILLAS Bristol  
BS28BF  
54c cricketfield road London E5 8ns  
28 Robin Close Stowmarket  
Flat 1 Hadrian Court 27 Breakspears  
Road LONDON  
88 bishops road Hayes Ub3 2tf  
2 icknield Port Road West Midlands  
Birmingham  
17 Melrose Rd London SW19 3HF  
904 Lighterman point 3 new village  
avenue London  
304 Foundry House 47 Morris Road  
London

31 junction road Sheffield S11 8XA  
162 CLEVEDON ROAD, TICKENHAM  
BRISTOL BS21 6RG  
135 tressillian road London Se41xz  
18 Burnett Clsoe London E9 6ET  
8 st johns rd Twells Tn4 9np  
26 Hatch Road LONDON SW16 4PN  
Flat 2, 19 Loughborough Road London  
SW9 7TA  
19 Cribb Lodge London Se18 6gq  
Flat 58 Osier House 14 Quebec Way  
London  
16 Exon Street London SE17 2JW  
80C Warriner Gardens London Sw114du  
24c Gauden Road Clapham  
Flat 3, 30-32 Totterdown Street London  
SW17 8TA  
50B Hendham Road London Sw17 7dq  
Flat 79 Smoothfield ct Hounslow  
11 Longmead Drive Sidcup DA14 4NT  
48 Avenue Road Blackpool FY3 7SG  
15 Miners Mews Micklefield  
Clapton Farmhouse Kintbury RG17 9RP  
Flat 29 Bridge House 4 Parkes Street  
London  
39 Adelaide Rx London E105NW  
104 TEMPLAR HOUSE, 34 LEYTON  
ROAD, 34 LEYTON ROAD, 34 LEYTON  
ROAD 34 LEYTON ROAD LONDON  
288a Chiswick High Road London W4  
1PA  
303 6 WEAVER WALK WEMBLEY  
19 Courtland Mews Stafford St16 3GR  
27A Hawstead Road London  
Flat 15 4 parkes street London  
Flat 4 2a Babington Road London  
Flat 3 Guildford House 99 Lacy Road  
LONDON  
10a Prestonville Road Brighton BN1 3TL  
39a Catford Hill London SE6 4NU  
110B Fairfoot Road London E3 4EH  
178 Odessa road London E7 9DY  
Flat 33 st Gabriel?s manor 25 cormont  
road London  
46 Appletree Way Welwyn Garden City  
AL72FE  
Flat 45, Coppermill Heights, Mill Mead  
Road Coppermill Heights london

60 lewisham way New cross Se14 6ny  
Flst 2, 86 Coombe Road Coombe Road  
CROYDON  
Flat B 163a Upper Street London  
Flat 11 Hepburn Building, 51 Grange  
Walk London SE1 3GJ  
50 Jubilee Court United Kingdom,  
London SE10 9FJ  
Apartment 15 45 East Hill London  
103 Albert Road POOLE BH12 2BX  
116 Jupiter House 150 Clayton Road  
Hayes  
35 Chestnut Court Hitchin SG5 2TJ  
24 Townergate House Bow London  
37 Hillgate place London Sw12 9es  
62 springfield house 5 tyssen street  
London  
16 Grange Road Broadstairs CT10 3EP  
5/1 Orchardfield Avenue Edinbrugh  
EH12 7SX  
3 Grove Place London SW129LI  
2 Somerset Terrace East Boldon  
NE360TE  
79 Empire Square South London SE1  
4NF  
6 Deanery place Church street  
Godalming  
22 Amelia St London SE17 3BZ  
99 Brudenell Road Leeds LS6 1JD  
26 Thrale Road London SW16 1PA  
18 June Close Coulsdon Cr5 2qr  
19 Balfe Street London N1 9EB  
9 Fisher Close Rotherhithe London  
Flat 3, 2A Avenue Road London  
2 saffron, Garden cottages, Horndon  
road Garden cottages Horndon On The  
HILL  
58 Durand Gardens London SW9 0PP  
20 St James Park Drive Mulgrave  
Melbourne  
178 Odessa Road London E7 9DY  
30 Gowlett road London Se15 4hy  
25 Bancord Avenue Herne Bay  
38 Airedale Lowestoft NR33 8TJ  
Flat 14 Lime Court 33 Trinity Close  
Leytonstone  
Flat 14 Lime Court 33 Trinity Close  
Leytonstone

266A Lower Road London SE85DJ  
22 quebec gardens Southampton So31  
8gp  
13 Downs Place Haverhill CB9 9LD  
Flat 58 Vanguard House, 70 Martello  
Street London  
204 Broomwood Road London SW11  
6JY  
339 Manor Road London E153AN  
35 Gwendolen Avenue London  
SW156EP  
45 Cadmus Court London SE16 7DW  
Barn Field Banstead SM7 3QS  
63 Robson Road LONDON SE27 9LB  
42 Burymead Stevenage SG1 4AY  
37 Westland Gardens Sheffield S208ES  
Sidcup house Station road Sidcup  
5, Peters Path Peters Path London  
10 Middleton Avenue Failsworth M35  
0FE  
39 Aylton Estate London SE16 7JW  
Blackwall Farmhouse Ashford TN255PA  
7 Greenside High Halden Ashford  
15 Cathedral Court, King Harry Lane  
King Harry Lane St. Albans  
105 Hawkins Crescent Bristol BS32 8EL  
Flat 38, 41 Devons Road London E33BF  
160 Gideon Road London Sw11  
377 Devon mansions Tooley street  
London  
83 Canon Beck Road London SE16 6DF  
3 Robinson Close Enfield EN2 6SF  
Flat 33 Leaside Court 84 Theobalds  
Road LONDON  
12 Rosemoor Drive Watlington  
OX495BP  
Flat 21, 21 Eastfields Road Mitcham  
London  
59 Lesney Park erith Da83Ds  
16 BUTTERCUP CLOSE CARLTON  
COLVILLE LOWESTOFT  
28 Mariachal Rd London Se13 5lg  
Flat 3 York Yo241aw  
44 Regent Square London E33HW  
4 Birchmore Walk London N5 2TJ  
46 Park View Road London W5 2JB

## DRP Report

SOUTHWARK DESIGN REVIEW PANEL  
AGENDA: 15 JUNE 2021

Chair: Hilary Satchwell  
Panel Members: Ann Griffin; Gwenaël Jerrett; Zeyna Soboh; Timothy Burgess  
(Confidential in advance of an application)

CANADA WATER ZONE H (Printworks)  
Architects: Hawkins Brown  
Clients: British Land  
Planning Consultants: DP9

The Panel welcomed the opportunity to review this important Reserved Matters proposal, one of the first proposals to come forward under the recently approved Canada Water Masterplan Outline Permission. They thanked the Applicants for their clear and detailed presentation which had been sent to the Panel in advance.

The Panel investigated further:

- The 'press coffins' and how the design is arranged around them
- The Printworks Street frontage – the predominance of louvres
- External stair design on Printworks Street
- The 'heavy top' design at roof level
- Cycle storage on 1st floor and access to it
- Embodied vs operational energy – how has this been benchmarked?
- The neighbouring developments – Artinvest and Scape
- Local desire-lines and access routes Printworks Street vs the Park
- Printworks Walk – public or private and its dimensions
- The little cabins in the Press Hall – could they be preserved
- The design of the roof terraces
- Water collection, management and run-off
- Biodiversity ambitions – how has this been benchmarked
- Cycle storage in H2 and access to it via the park
- Public realm design in general – the detailed design of the park and other spaces was not presented
- Percentage of the building accessible to the public
- How the top floor might appear at night time
- How much of the building will be re-used?
- Rain water collection – opportunity service the park?
- District heating option? This has not been discounted
- Energy statement – not available for the Panel
- Air handling vs natural ventilation
- Central vaulted space – how will this open space be maintained – not partitioned off?
- Has the central space been tested for acoustics etc.
- How many people will be working in the building – currently projecting 2000
- Alternative uses for the central space?

The Panel generally endorsed the proposal and welcomed the re-purposing of the former Printworks in this way as a key feature of the wider masterplan. They raised a number of detailed

comments and suggestions which they hoped the design team could take on as the scheme is developed further.

### Public realm and landscape

The building is a strong visual anchor for the area and its public realm will help to give it a new setting in the Canada Water area. In addition to fronting the park the building also forms an important edge to the Masterplan and a backdrop to the sites on Canada Street. This means that, whilst not entirely within the control of BL, the public realm of the new Printworks Street will need to be carefully considered and designed as the new interface between the Masterplan and the wider Canada Water area.

Looking ahead to future reviews of the Masterplan schemes the Panel highlighted the principles set out in the consented Public Realm Design Guidelines. They encouraged the developers to refer to these important principles of the overarching consent and to demonstrate how future RMA proposals comply with these Design Guidelines.

When they considered the external public spaces the Panel felt the Printworks Street frontage needed further attention. This part of the building is dominated by plant grillage with only a single token retail unit and as a consequence Printworks Street feels like a back street. Every street needs to be a good quality street and Printworks Street remains an important consideration. The panel felt this needs to be designed to be an attractive and safe route with mature planting, lighting and a welcoming public realm.

The Panel recognised that the delivery of the park is an important aspect of this proposal and it is imperative that it is designed as a cohesive whole with the edges of the Printworks building in mind. This is not just a square of green but an important public gesture – central to the delivery of the Masterplan. The design of the park is at the early stages of development and should be progressed in earnest together with this building. They were not able to comment on the park in detail but highlighted that the movement of cyclists along the park edge and the potential conflict with diverse uses will need to be carefully considered and incorporated into the park design. The Park edge is an important frontage of the building and a place where the landscape and the building will interact in a direct way. This is at the ground floor level of the building (below the cavernous interior) where the current design includes large areas of plant and servicing. The Panel challenged the designers to review this approach and to see how much of the ground floor could be incorporated into the public realm. They suggested that the designers could introduce public uses into these spaces to expose the character and industrial heritage of the building and enhance its relationship with the park.

The presentation did not include sufficient detail about the landscaped terraces or how the proposals would meet the Urban Greening Factor policy. The Panel asked for detailed designs for the terraces to be included in the planning application.

### Printworks Walk

The Printworks Walk underpass is a key feature of the public realm. It not only bisects the building but also provides an important east-west public link from Canada Street and the Albion Channel to the park and Redriff Road beyond. The Panel felt the design of this link is not yet fully convincing and may feel unsafe, especially at night. The route is 50m long and, in the centre (under the central atrium) just 3m high and flanked by plant rooms on both sides. The Panel felt the presentation did not describe how this space would be finished or how it will be appreciated. They were concerned that it would be dominated by the lowered ceiling of the central space and would

be impacted by the lack of active uses on either side.

They encouraged the designers to consider the use of bridges or other interventions across the central internal space and to develop the design further, to introduce active uses to the sides and open up views in order to turn this route into a generous, inviting and safe space. Evolution of the design could potentially introduce views up into the central space from the underpass allowing the public to experience this space from below.

### Sustainability

The Panel congratulated the team for the way they have taken on this existing building and sought to retain and re-use its features including its foundations. They felt this is an exemplary approach which they encouraged.

They welcomed the inclusion of measures like Wellness and NABES and felt these could contribute to the longer term richness of the building by introducing societal and communal values into the scheme. In order for these to be incorporated into the Planning Application in a meaningful way the scheme will need to achieve an accredited benchmark.

### Public access and public function

The vaulted central space, which runs almost from one end of the building to the other, is a key feature of the proposal. It has been presented as a common linking atrium space shared by occupiers both visually and through the way the base level is occupied. The Panel welcomed this approach and felt it was important to safeguard this space as an open atrium space with gallery views. Because of the scale of this space and the important presence of the building in the area the Panel encouraged the project team to try to invite the public into the central space from where they can experience the building and appreciate this grand space.

### Architectural expression

The Panel supported the ambitions of the scheme and encouraged the re-use of the existing spaces and features. They supported the use of industrial cladding materials and the use of colour and felt this could help preserve the industrial character of the building and ensure that it will not appear slick or corporate.

They supported the designer's instinct to differentiate the main hall and the 'spine' buildings and clad these two parts of the building with different materials. In this way they were able to express the different characters of these two parts architecturally. They questioned why this important division in character had not been carried through to the interior and encouraged the architects to explore the possibility of expressing the junction between the two buildings more powerfully. They suggested this could help to reflect the asymmetry of the building on the inside and might reduce the monolithic character of the building as a whole.

The Panel discussed the design of the exposed stair cases and the 'heavy top'. They felt the top might warrant a lighter touch especially when one considers how visible it will be from the surrounding area but that it is important that this is tested in a range of views. The current proposal for the top (finished in the same industrial material) could appear overly dominant emphasising the monolithic character of the building. The top is an opportunity to express the eccentricity and quirkiness of the building and to break down the scale of the building where it meets the sky. They encouraged the design team to look again at features like the expressed staircases at this level and to give the skyline greater articulation. They also wanted to ensure that mechanical plant located at the roof should not be visible from the surrounding area.

The design of the entrance halls varies substantially from H1 to H2. H1 has a triple height grand entrance at the prow of the building whilst the H2 is tucked away at the side and does not benefit from such a grand entrance space. The Panel supported the inclusion of ramps for cyclists the ground floor to 1st floor cycle storage at H1 but were less convinced by how this worked at H2. They felt the H2 entrance sequence could benefit from the similar treatment including the provision for cyclist from the ground to the 1st floor.

### The central space

The open character of the central space is beneficial and preserves the industrial character of the space in the same way as the turbine hall in Tate Modern. The Panel questioned whether the acoustics of this had been tested and how this sense of openness and activity could be preserved in the completed design. Especially if tenants require separation. They encouraged the designers to consider design approaches that would preserve the open character of this space whilst ensuring that it could still meet the needs of future occupiers.

The retention of the existing structure is exceptional and commendable. However, the Panel felt more could be done to preserve the little spaces like the little cabins which are so evocative of the cavernous central space. They encouraged the design team to look into their retention – even if they needed to be relocated where they could be integrated into the building and its use. The vast central space invites the possibility of introducing smaller spaces into it at the upper levels and opens up the option of a greater diversity of spaces in the building.

### Conclusion

In conclusion the Panel considered this an inspiring and exciting project and they applauded the ambition to re-purpose and re-invent this unique building. They endorsed the depth of thinking that had gone into the design and encouraged the designers to enhance the landscape and edge treatments on Printworks Street, Printworks Walk and the park. They challenged the design team to open up the central space and the ground floor to some element of public use, to celebrate the asymmetry of the building and to look again at the detailed design of the top in order to break up and lighten its silhouette.